



A G E N D A

GARDEN GROVE PLANNING COMMISSION

REGULAR MEETING

JULY 19, 2018

COMMUNITY MEETING CENTER
11300 STANFORD AVENUE

REGULAR SESSION – 7:00 P.M. – COUNCIL CHAMBER

ROLL CALL: CHAIR BRIETIGAM, VICE CHAIR TRUONG
COMMISSIONERS KANZLER, LAZENBY, LEHMAN, NGUYEN,
SALAZAR

Members of the public desiring to speak on any item of public interest, including any item on the agenda except public hearings, must do so during Oral Communications at the beginning of the meeting. Each speaker shall fill out a card stating name and address, to be presented to the Recording Secretary, and shall be limited to five (5) minutes. Members of the public wishing to address public hearing items shall do so at the time of the public hearing.

Any person requiring auxiliary aids and services due to a disability should contact the City Clerk's office at (714) 741-5035 to arrange for special accommodations. (Government Code §5494.3.2).

All revised or additional documents and writings related to any items on the agenda, which are distributed to all or a majority of the Planning Commissioners within 72 hours of a meeting, shall be available for public inspection (1) at the Planning Services Division during normal business hours; and (2) at the City Community Meeting Center Council Chamber at the time of the meeting.

Agenda item descriptions are intended to give a brief, general description of the item to advise the public of the item's general nature. The Planning Commission may take legislative action it deems appropriate with respect to the item and is not limited to the recommended action indicated in staff reports or the agenda.

PLEDGE OF ALLEGIANCE TO THE FLAG OF THE UNITED STATES OF AMERICA

- A. ORAL COMMUNICATIONS - PUBLIC
- B. APPROVAL OF MINUTES: June 21, 2018
- C. PUBLIC HEARING(S) (Authorization for the Chair to execute Resolution shall be included in the motion.)
 - C.1. CONDITIONAL USE PERMIT NO. CUP-129-2018

APPLICANT: GRANT BRUTTEN

LOCATION: NORTHWEST CORNER OF KNOTT STREET AND
ACACIA AVENUE AT 12821 KNOTT STREET

REQUEST: Conditional Use Permit approval to demolish an existing fifty-foot (50'-0") tall pole sign, and to construct a new fifty-nine foot (59'-0") tall, V-shaped, freeway-oriented electronic reader board sign (for on-premise advertisements), adjacent to and facing the Garden Grove SR-22 Freeway, for an existing indoor sports facility, Next Level Sports Complex. The site is in the PUD-104-70 (Planned Unit Development) zone. This project is exempt pursuant to CEQA Section 15311 - Accessory Structures.

STAFF RECOMMENDATION: Approval of Conditional Use Permit No. CUP-129-2018, subject to the recommended Conditions of Approval.

C.2. SITE PLAN NO. SP-258-99 (REV. 2018)

APPLICANT: MICHAEL WESNER, DIRECTOR OF CEMETERIES

LOCATION: SOUTH SIDE OF CHAPMAN AVENUE, WEST OF LEWIS STREET AT 13280 CHAPMAN AVENUE

REQUEST: To modify the approved plans, under Site Plan No. SP-258-99, to complete the Memorial Gardens expansion, located at 13280 Chapman Avenue (APN: 231-022-03), within the allowances of the previously approved cemetery area. The project will include additional interment area and the construction of three (3) new buildings consisting of an administrative office, a cremation niche building, and a maintenance building. Also, a request to modify the Conditions of Approval, under SP-258-99, to modify the maximum building height requirement to facilitate the construction of the proposed three (3) new buildings. The site is in the PUD-133-99 (Planned Unit Development) zone. This project is exempt pursuant to CEQA Section 15303(c) - New Construction or Conversion of Small Structures.

STAFF RECOMMENDATION: Approval of Site Plan No. SP-058-99 (REV. 2018), subject to the recommended Conditions of Approval.

C.3. MITIGATED NEGATIVE DECLARATION
SITE PLAN NO. SP-054-2018
LOT LINE ADJUSTMENT NO. LLA-015-2018

APPLICANT: HOUSE FOODS HOLDING USA, INC. CORPORATION

LOCATION: NORTHWEST CORNER OF ORANGEWOOD AVENUE AND WESTERN AVENUE AT 7351 AND 7421 ORANGEWOOD AVENUE

REQUEST: Site Plan approval to construct a 36,763 square foot single-story addition between two existing industrial buildings to expand an existing food manufacturing business, in conjunction with a request for Lot Line Adjustment approval to consolidate a 5.2-acre property, with an adjacent 5-acre property, the current location of House Foods, for a combined acreage of approximately 10.3 acres. Each property is currently developed with two-story industrial buildings, 81,613 square feet and 125,040 square feet, respectively. The site is in the PUD-103-76 (Planned Unit Development) zone.

The Planning Commission will also consider adoption of a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for the project.

STAFF RECOMMENDATION: Recommend approval of the Mitigated Negative Declaration and Mitigation and Monitoring Reporting Program to City Council and approve Site Plan No. SP-054-2018 and Lot Line Adjustment No. LLA-015-2018, subject to the recommended Conditions of Approval.

C.4. CONDITIONAL USE PERMIT NO. CUP-135-2018

APPLICANT: AT & T MOBILITY, LLC.

LOCATION: EXISTING STREET LIGHTS AND WOOD UTILITY POLES OWNED BY SOUTHERN CALIFORNIA EDISON, ALL IN THE PUBLIC RIGHT-OF-WAY

REQUEST: Conditional Use Permit approval to allow the installation of nine (9) Citywide small wireless telecommunication facilities disguised as street light poles (6), attached to utility poles (2), and installed as a new streetlight pole (1), along with related below-grade or internally concealed meters, attached equipment, and site improvements. The existing street lights and utility poles in the City's public right-of-way are owned by Southern California Edison. The street lights will be removed and replaced with the new street light poles, the wood utility poles will remain, and one (1) new street light will be installed. All would

include small wireless telecommunication facilities. This project is exempt pursuant to CEQA Sections 15301 – Existing Facilities and 15303 – New Construction or Conversion of Small Structures.

STAFF RECOMMENDATION: Approval of Conditional Use Permit No. CUP-135-2018, subject to the recommended Conditions of Approval.

- D. MATTERS FROM COMMISSIONERS
- E. MATTERS FROM STAFF
- F. ADJOURNMENT

GARDEN GROVE PLANNING COMMISSION
Council Chamber, Community Meeting Center
11300 Stanford Avenue, Garden Grove, CA 92840

Special Meeting Minutes
Thursday, June 21, 2018

CALL TO ORDER: 6:00 p.m.

ROLL CALL:

Chair Brietigam
Vice Chair Truong
Commissioner Kanzler
Commissioner Lazenby
Commissioner Lehman
Commissioner Nguyen
Commissioner Salazar

Absent: None.

PLEDGE OF ALLEGIANCE: Led by Commissioner Lehman.

ORAL COMMUNICATIONS – PUBLIC – None.

June 7, 2018 MINUTES:

Action: Received and filed.

Motion: Lazenby Second: Kanzler

Ayes: (7) Brietigam, Kanzler, Lazenby, Lehman, Nguyen,
Salazar, Truong

Noes: (0) None

PUBLIC HEARING – SITE PLAN NO. SP-055-2018, CONDITIONAL USE PERMIT NO. CUP-132-2018. FOR PROPERTY LOCATED ON THE NORTH SIDE OF STANFORD AVENUE, BETWEEN NELSON STREET AND NUTWOOD STREET AT 10641 STANFORD AVENUE.

Applicant: ASCENT, LLC (KEVIN MCMANUS)

Date: June 21, 2018

Request: Site Plan approval to demolish an existing 9,600 square foot industrial building and construct a new single-story, 4,992 square foot building with parking lot, landscape, and site improvements, in conjunction with a Conditional Use Permit approval to operate a public utility station and equipment building. The site is in the AR (Adaptive Reuse) zone. This

project is exempt pursuant to CEQA Section 15303 – New Construction or Conversion of Small Structures.

Action: Public Hearing held. Speaker(s): Kevin McManus, Quincy Adams

Action: Resolution No. 5924-18 was approved.

Motion: Lazenby Second: Lehman

Ayes: (7) Brietigam, Kanzler, Lazenby, Lehman, Nguyen, Salazar, Truong

Noes: (0) None

STUDY SESSION – CODE ENFORCEMENT REVIEW: Garden Grove Building Official, David Dent, presented an overview of Code Enforcement, and noted that Code Enforcement and Building Abatement were separate entities in the Building and Safety Division. A Title 9 – Property Maintenance handout was distributed to Commissioners.

MATTERS FROM COMMISSIONERS: Chair Brietigam challenged the City to increase the sworn Police staff to 200 by the year 2020, along with five additional firefighters.

MATTERS FROM STAFF: Staff mentioned that the July 5th meeting would be cancelled, the July 19th meeting had a full agenda, and the August 2nd meeting would be cancelled.

Lisa Kim, the Garden Grove Community and Economic Development Director, updated the Commission regarding Code Enforcement status, stating that the Code Enforcement evaluation was complete and that recommendations would be presented to City Council at the July 24th meeting. Ms. Kim also announced that the Garden Grove Neighborhood Association (GGNA) would hold a 'Meet on Main' gathering on August 9th, at which staff would field Code Enforcement questions.

Chair Brietigam mentioned that in January, City Council directed the Commission to confer with City staff on suggestions to improve Code Enforcement. Ms. Kim responded that though internal policies and procedures had been reviewed, more time was needed to implement the recommendations and report back to the Commission.

Commissioners Lehman and Salazar mentioned they would not be at the July 19th meeting, and Commissioner Kanzler was uncertain.

ADJOURNMENT: At 7:12 p.m. to the next Regular Meeting of the Garden Grove Planning Commission on Thursday, July 5, 2018, at 7:00 p.m. in the Council Chamber of the Community Meeting Center, 11300 Stanford Avenue, Garden Grove.

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.1.	SITE LOCATION: Northwest corner of Knott Street and Acacia Avenue, at 12821 Knott Street
HEARING DATE: July 19, 2018	GENERAL PLAN: Industrial/Commercial Mixed Use
CASE NOS: CUP-129-2018	ZONE: PUD-104-70 (REV. 2014) (Planned Unit Development)
APPLICANT: Grant Brutton	APN: 215-014-01
PROPERTY OWNER: Brutton Reynolds, LLC	CEQA DETERMINATION: Exempt

REQUEST:

A request for Conditional Use Permit approval to demolish an existing fifty-foot (50'-0") tall pole sign, and to construct a new fifty-nine foot (59'-0") tall, V-shaped, freeway-oriented electronic reader board sign (for on-premise advertisements), adjacent to and facing the Garden Grove Freeway (SR-22), for an existing indoor sports facility, Next Level Sports Complex, located at 12821 Knott Street.

BACKGROUND:

The subject site is an existing 6.88-acre Planned Unit Development (PUD) located on the northwest corner of Knott Street and Acacia Avenue. The site has a General Plan Land Use Designation of Industrial and is zoned PUD-104-70 (Planned Unit Development). Currently, the site is improved with one (1) existing building that is approximately 120,800 square feet in area and is occupied by and operated as an indoor sports facility, Next Level Sports Complex ("NLSC").

A planned unit development (PUD) is a precise plan, adopted by ordinance that provides the means for the regulation of buildings, structures, and uses of land to facilitate the implementation of the General Plan. It is a way to create site-specific zoning requirements. The adopted PUD becomes the zoning classification of the property. The regulations of the PUD are intended to provide for a diversity of uses, relationships, and open spaces in an innovative land plan and design, while ensuring compliance with the provisions of the Municipal Code.

The subject site abuts: a PUD to the north; a PUD to the south, across Acacia Avenue; the Garden Grove (22) Freeway to the south; R-1 (Single-Family Residential) zoned properties, across Brady Way to the west; and M-P (Industrial Park) zoned properties, across Knott Street, to the east.

On October 13, 1970, the City of Garden Grove approved Planned Unit Development No. PUD-104-70 to allow professional office, general commercial, and industrial uses on the subject property.

On December 13, 2011, the City of Garden Grove approved Amendment No. A-164-11 to allow "indoor sports facility" as a permitted use in the PUD-104-70 zone, subject to Conditional Use Permit approval.

The subject site is currently developed with an existing 120,316 square foot building occupied by an indoor sports facility, Next Level Sports Complex ("NLSC"). NLSC was approved under Conditional Use Permit No. CUP-340-11, in conjunction with A-164-11.

Within the parking lot, near the southeast corner of the site, is an existing fifty-foot (50') tall pole sign originally utilized by the previous on-site electronics retail business, Radioshack. The pole sign, which is not currently in use, is comprised of two separate internally illuminated box signs that are stacked on top of each other and separated with three feet (3') of space in between. The larger box sign, on top, is 14'-0" by 11'-0" (154 square feet), and the smaller box sign, below, is 3'-0" by 12'-0" (36 square feet). The total sign area of this existing pole sign is 190 square feet. The existing pole sign is *not* a billboard, since it was intended to only advertise uses or activities conducted on the property.

On September 19, 2013, the City of Garden Grove Planning Commission voted 6-0 to adopt, without prejudice, Resolution of Denial No. 5710-13 to deny Amendment No. A-171-13, which was a request to amend the Planned Unit Development No. PUD-104-70 zone to allow the applicant to retrofit the existing, legal fifty-foot (50') tall pole sign (double-sided with an existing sign area of 190 square feet), with a new electronic billboard sign (double-sided with a total proposed sign area of 582 square feet), which was proposed to function as a billboard, displaying both on-premise and off-premise advertising. The primary concerns expressed by the Planning Commission at the time of consideration were related to the large size of the proposed electronic billboard sign as well as the use of it as a billboard in order to display on-premise *and* off-premise advertisements. The Garden Grove Municipal Code generally prohibits the establishment of new billboards in the City (i.e., those used for off-premise advertisements).

After reviewing the comments and concerns received from the Planning Commission and the public, the applicant modified its request to address the noted concerns by: significantly reducing the overall size of the proposed freeway-oriented electronic reader board sign; and eliminating the proposal to use it as a billboard (for off-site advertisements). Subsequently, the applicant submitted a modified land use application.

On March 12, 2014, a neighborhood meeting was conducted at the Community Meeting Center, in the City of Garden Grove, to address the issues raised at the

public hearing, concerning Amendment No. A-171-13. Staff, neighborhood representatives, and the applicant met and discussed many topics that included: sign design, light and glare, vehicular and pedestrian accessibility, and parking. The applicant addressed concerns raised by the community. A highly important concern was raised by the attendees related to potential light and glare issues produced by the proposed freeway-oriented electronic reader board sign, which they felt could impact their respective properties. In response to these concerns, the applicant ensured that the proposed sign would incorporate new sign technology (e.g., automatic dimming based on time of day, and built-in louvers directing the light to specific directions) into the design of the sign, most notably relating to the method of light output, in an effort to avoid any potential negative impacts to nearby surrounding uses.

On May 27, 2014, the City of Garden Grove approved PUD-104-70 (REV. 2014), and adopted Ordinance No. 2839, which approved an amendment to the PUD-104-70 zone to allow a 59'-0" tall freeway-oriented electronic reader board sign, subject to Conditional Use Permit approval. In conjunction with the approval of PUD-104-70 (REV. 2014), the City also approved Conditional Use Permit No. CUP-379-14, which allowed the applicant to retrofit the existing, legal fifty-foot (50') tall pole sign (double-sided with an existing sign area of 190 square feet), with a new freeway-oriented sign with a 394 square foot electronic reader board that would display on-premise advertisements, a 102 square foot internally illuminated cabinet with the Next Level Sports Complex logo, and a 66 square foot internally illuminated arched cabinet at the top with the City of Garden Grove logo (total proposed sign area of 562 square feet).

Pursuant to Municipal Code Section 9.32.160, Expiration of Granted Land Use Actions, it states, "Unless a time extension is granted in accordance with Section 9.24.030, any discretionary action becomes null and void if not exercised within the time specified in the approval of the discretionary action or, if no date is specified, within *one* year from the date of approval of such discretionary action. Following the approval of CUP-379-14, the applicant had one (1) year to exercise said approval before the land use entitlement would expire. Due to financial reasons, the applicant was not able to move forward on the sign project and the approval of CUP-379-14 expired.

The applicant has expressed to Staff that they are now ready to move forward on the sign project and has submitted a new request to reinstate the prior CUP sign approval, with a minor modification relating to the location/placement of the sign, which is now proposed to be directly adjacent to and facing the Garden Grove Freeway (SR-22) to the south.

DISCUSSION:

CONDITIONAL USE PERMIT:

PUD-104-70 (REV. 2014) establishes the following specific requirements and design standards for a freeway-oriented sign on the subject site:

Freeway-Oriented Electronic Reader Board Sign: One (1) freeway-oriented electronic reader board sign ("reader board sign") associated with a permitted Indoor Sports Facility may be permitted, subject to approval of a Conditional Use Permit, and compliance with all applicable provisions of Chapter 9.20 (Sign Standards) of the Garden Grove Municipal Code. Consistent with Chapter 9.20 of the Garden Grove Municipal Code, said reader board sign shall not be used as a billboard or to display off-premises commercial advertisements, and sign copy shall be limited to the display of on-premise commercial advertising and legal non-commercial messages, including messages providing the public with information from the City of Garden Grove relating to events affecting the community. Said reader board sign shall be located within one-hundred feet (100'-0") of the SR-22 Garden Grove freeway right-of-way and shall be in compliance with all applicable state and federal laws. The maximum height of said reader board sign shall not exceed fifty-nine feet (59'-0"). Said reader board sign shall be consistent in design with an arched top feature that includes "Garden Grove" copy and the Garden Grove City Logo on a lattice background graphic under the "Garden Grove" copy. The top arched feature shall be a minimum of eight feet (8'-0") in height.

The scope of the previous CUP approval (CUP-379-14) was to retrofit the existing legal fifty-foot (50') tall Radioshack pole sign (double-sided with an existing sign area of 190 square feet) with a new freeway-oriented electronic reader board sign (double-sided with a total proposed sign area of 562 square feet) that would display on-premise advertisements. However, the applicant's new/current proposal is to demolish the existing 50' tall Radioshack pole sign, and construct the same 59'-0" tall sign at a location directly adjacent to and facing the Garden Grove Freeway (SR-22).

On June 14, 2017, the applicant conducted a "flag test", in conjunction with City Staff, to determine the appropriate height and visibility of the sign at its new proposed placement/location on the property, which was to abut the southerly property line, and directly face the Garden Grove Freeway (SR-22) to the south. A "flag test" is a procedure which involves the use of a crane, attached to a truck. A makeshift sign is created using horizontal bars and flags attached to the corners, as the crane lifts the makeshift sign up to specific heights to mimic the appearance of the proposed sign. During the "flag test", the applicant raised the makeshift sign up to the proposed height of 59'-0" (as measured to the topmost part of the proposed sign). Subsequently, City Staff observed and reviewed the proposed height and location of the sign at several distances and directions, including many

vantage points from the Garden Grove Freeway. City Staff determined that the proposed height of 59'-0", as permitted under PUD-104-70 (REV. 2014), was optimal, including the proposed location of the sign.

Prior to submitting their land use application, the applicant held a public noticed neighborhood meeting, on April 12, 2018, to review and receive input from the community on the new sign proposal. City Staff was in attendance to observe. A total of seven (7) persons from the public attended the neighborhood meeting. Attendees raised several questions and concerns relating to: intent for the use of the sign; design and technology of the sign; and other issues unrelated to the sign such as traffic concerns on Stanford Avenue (an adjacent street to the north of the subject site). The applicant provided responses to the questions and concerns raised during the meeting that included: the sign will only be for on-premise advertisements and would not be used as a billboard; that the faces of the V-shaped sign will be angled directly toward and facing the Garden Grove Freeway to the south, and not facing any residential properties to the west, or the office building to the east. At the conclusion of the neighborhood meeting, City Staff noted that the general consensus of the attendees appeared to be to support of the sign project and that those concerns and questions raised at the neighborhood meeting appeared to have been addressed and clarified.

The design and appearance of the proposed new sign would be virtually the same as what was previously approved under CUP-379-14. The new sign would be comprised of three (3) sections. The first topmost section will be an arched feature that will be 8'-0" in height and 16'-7" (66 square feet) in width featuring the City of Garden Grove logo and "Garden Grove" copy in an arched fashion. This section will be made of custom fabricated aluminum over a steel frame, with a plexiglass face, and will be internally illuminated. The second (middle) section will be a fabricated aluminum cabinet with a routed face, backed by plexiglass, and internally illuminated. This cabinet will be 4'-3" in height and 24'-0" (102 square feet) in width and will feature the Next Level Sports Complex business logo. The third bottommost section will be a full color LED (light emitting diode) electronic reader board box sign, that will be 15'-3" in height and 25'-10.3" in width (394 square feet). The total sign area for the proposed freeway-oriented electronic reader board sign will be 562 square feet. The proposed freeway-oriented electronic reader board sign will have a "V" shape where each face will be angled to face the adjacent Garden Grove Freeway, as shown in the attached/submitted plans. Conditions of approval for the project include a requirement that the lighting of the sign will be directed and shielded so as not to cause light and glare on any adjacent residential properties, as well as a requirement that the sign meet the requirements of CalTrans for lighted signs adjacent to freeways. Sign technology has significantly advanced since the 1990s and early 2000s. The proposed sign has been designed to utilize certain advanced sign technological features to ensure that there will be no negative impacts to adjacent properties as they relate to light and glare. Such technology will include features such as, but not limited to: louvers for each LED (light emitting diode) to direct the light output to a specific set angle (away from residents and other nearby sensitive

uses); automatic dimmers that lower the light intensity/output depending on the amount of sunlight during the day; and programming to provide a fixed, single image during late night hours between 10:00 p.m. to 7:00 a.m.

Staff has reviewed the applicant's proposal and finds that the sign proposed under CUP-129-2018 complies with all requirements and design standards stated in PUD-104-70 (REV. 2014).

RECOMMENDATION:

Staff recommends that the Planning Commission take the following action:

1. Adopt the attached Resolution approving Conditional Use Permit No. CUP-129-2018, subject to the recommended Conditions of Approval.



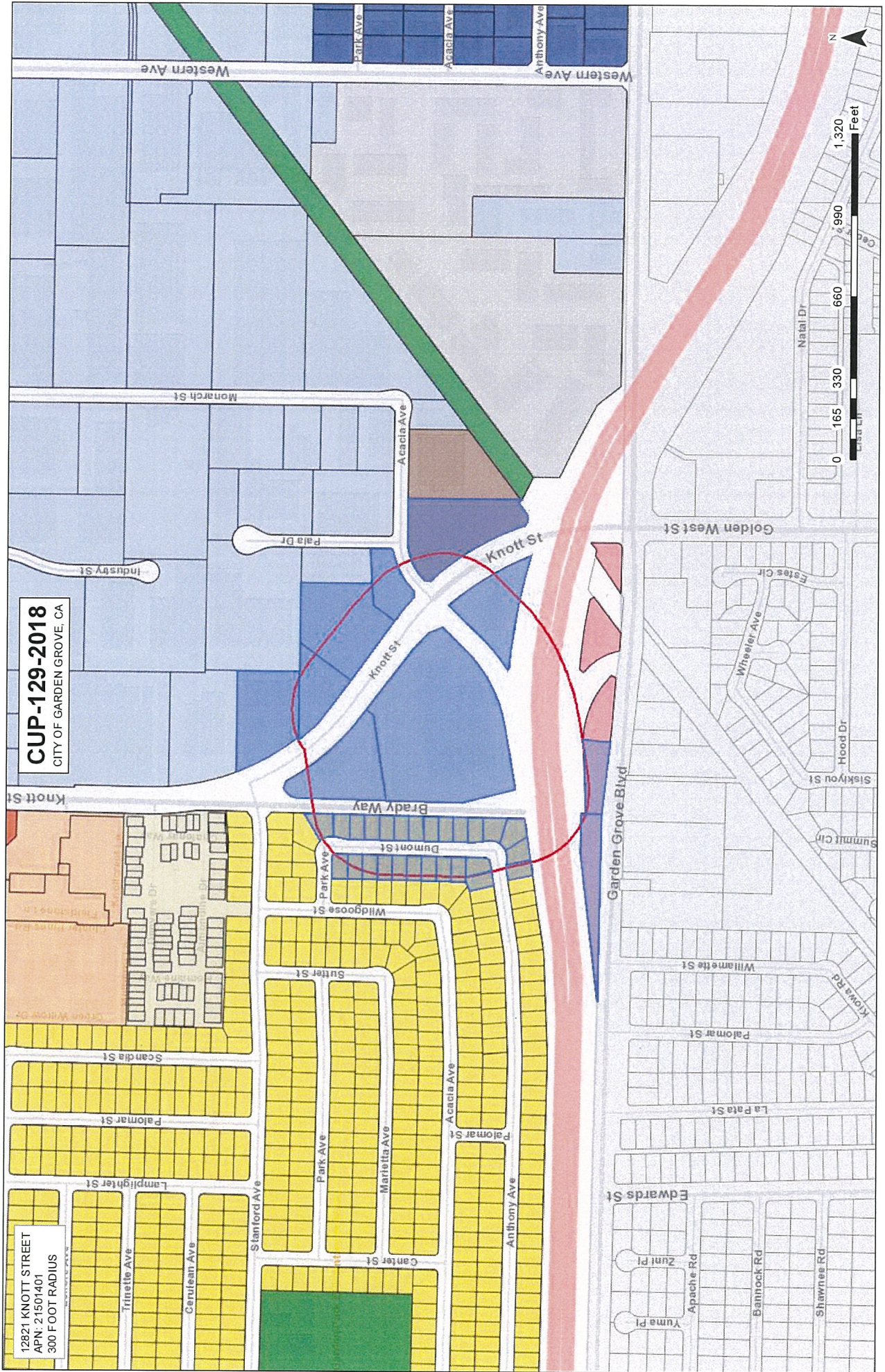
Lee Marino
Planning Services Manager



By: Chris Chung
Urban Planner

CUP-129-2018
CITY OF GARDEN GROVE, CA

12821 KNOTT STREET
APN: 21501401
300 FOOT RADIUS





E X T E R I O R S I G N P A C K A G E

JOB# 229267

01.22.2018

JONES SIGN
Your Vision Accomplished



BOLLARDS TO BE ADDED IN FRONT OF PYLON SIGN

ADD PARKING SPACE TO COMPENSATE FOR LOSS DUE TO SIGN LOCATION

SITE PLAN
SCALE: 1" = 200'-0"

JONES SIGN Your Vision. Accomplished. WWW.JONESIGN.COM	JOB #: 229267_R3 DATE: 01.22.2018 DESIGNER: J. CASTILLO SALES REP: J. HADARA PROJECT MGR: E. MARCHESI	CLIENT APPROVAL LANDLORD APPROVAL OC	DATE DATE	NEXT LEVEL 12821 KNOTT STREET GARDEN GROVE, CA 92841 DESIGN PHASE: CONCEPTUAL	SHEET NUMBER 1.0

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A NEW D/F INTERNALLY-ILLUMINATED PYLON SIGN DISPLAY (Qty 1)

FIELD SURVEY REQUIRED
VECTOR ARTWORK REQUIRED
COLOR CALL-OUTS REQUIRED
ENGINEERING REQUIRED

NOTES AND SPECIFICATIONS

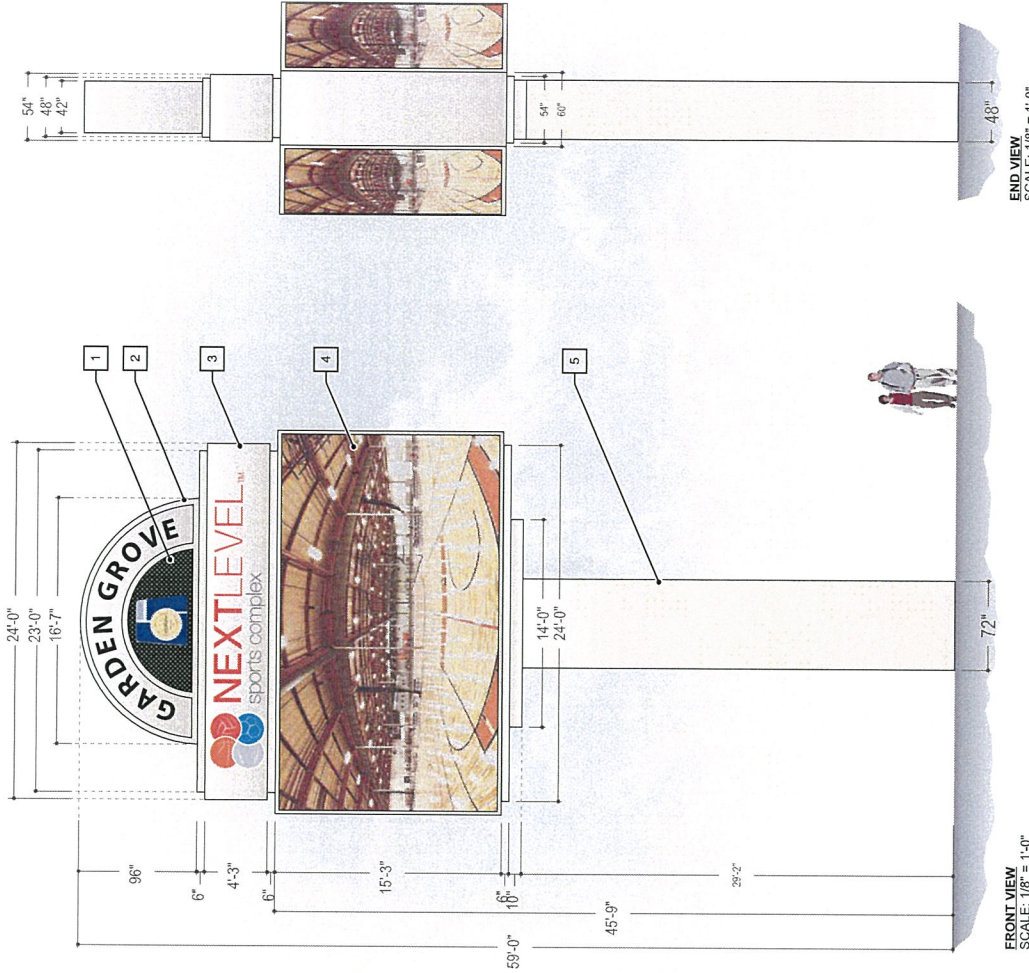
- 1 CUSTOM FABRICATED ALUM. OVER STEEL FRAME CONSTRUCTION. INTERNALLY ILLUMINATED BY TUBE LIGHTING. AS REQUIRED TO PROVIDE EVEN ILLUMINATION. USE WHITE FLEXIBLE SUBSTRATE WITH APPLIED VINYL GRAPHICS.
- 2 CUSTOM FABRICATED ALUM. OVER STEEL FRAME CONSTRUCTION. PAINTED TO MATCH CUSTOMER COLOR. TBD
- 3 FABRICATED ALUM. CABINET WITH ROUTED FACES TO ACCEPT PLEX BACK-UP. PLEX WILL HAVE APPLIED VINYL TO MATCH CUSTOMER COLORS. CABINET WILL BE INTERNALLY ILLUMINATED BY FLUORESCENT TUBE LIGHTING AS REQUIRED TO PROVIDE EVEN ILLUMINATION. NEW FULL COLOR LED DISPLAY. 25MM 176x304 MATRIX. CABINET IS 15'-3" x 25'-10.3" WITH AN ACTIVE AREA OF 14'-8" x 25'-4".
- 5 CUSTOM FABRICATED ALUM. OVER STEEL FRAME CONSTRUCTION WITH PAN BREAK SEAMS. PAINTED TO MATCH CUSTOMER COLOR. TBD.

COLOR FINISHES

- P-1 COLOR TO BE DETERMINED
- V-1 VINYL COLOR TO BE DETERMINED
- V-2 VINYL COLOR TO BE DETERMINED
- V-3 VINYL COLOR TO BE DETERMINED
- V-4 VINYL COLOR TO BE DETERMINED
- V-5 VINYL COLOR TO BE DETERMINED
- V-6 PERFORATED BLACK #22

SPECIFICATIONS

1. SEE SPECIFICATION CALL-OUTS THIS SHEET



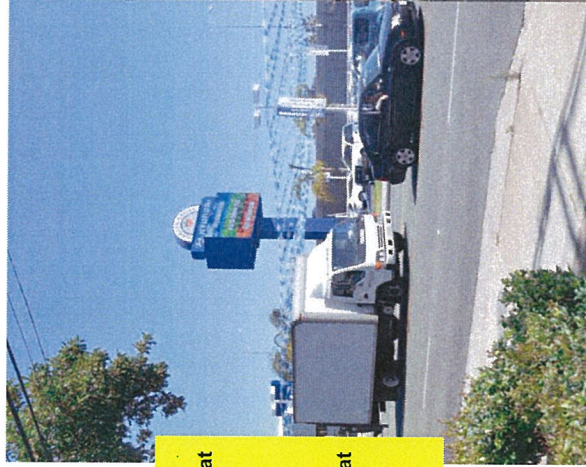
JONES SIGN Your Vision. Accomplished. WWW.JONESIGN.COM	JOB #: 229267_R3 DATE: 01.22.2018 DESIGNER: J. CASTILLO SALES REP: J. HADAVA PROJECT MGR: E. MARCHESE	REV. DATE BY DESCRIPTION 1 02.22.18 JC ASSEMBLED BRAND INFORMATION 2 02.22.18 JC REVISED LED BRAND INFORMATION	SHEET NUMBER 2.0
NEXT LEVEL 12821 KNOTT STREET GARDEN GROVE, CA 92841 DESIGN PHASE: CONCEPTUAL		CLIENT APPROVAL	DATE
		LANDLORD APPROVAL	DATE
		OC	

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Light Emitting from LED

DAY (3:00pm)

70% MAXIMUM BRIGHTNESS @ LED BOARD
465 LUMENS/SQ.FT.



DUSK (6:00pm)

10% MAXIMUM BRIGHTNESS @ LED BOARD
46.5 LUMENS/SQ.FT.



NIGHT (9:00pm)

5% MAXIMUM BRIGHTNESS @ LED BOARD
23 LUMENS/SQ.FT.



Day operation:
Dimming of the sign will automatically be set at 70% of the maximum brightness of the LED board.
Total of 4900 NIT of Brightness.

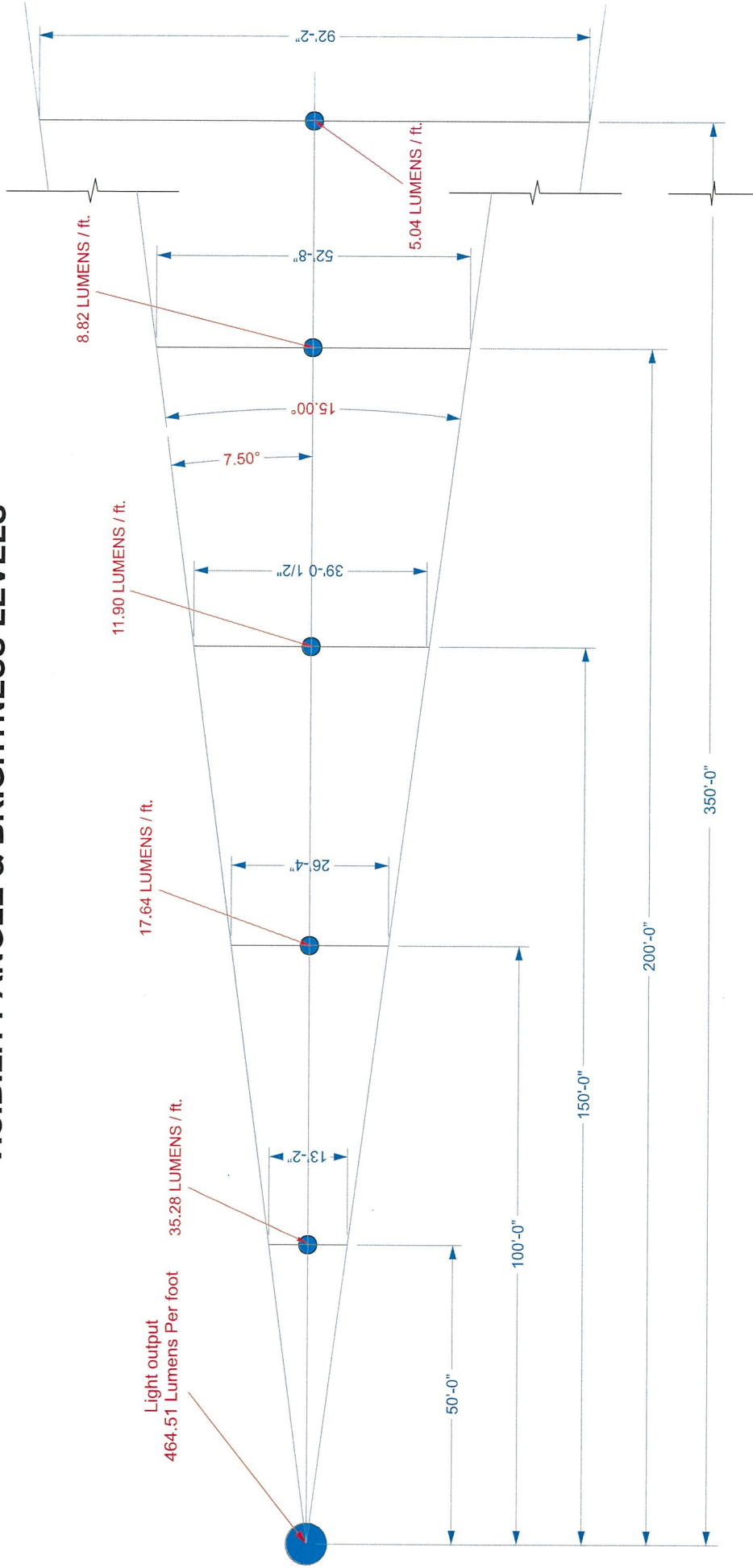
Night operation:
Dimming of the sign will automatically be set at 5.0% of the maximum brightness of the LED board.
Total of 350 NIT of Brightness.

ALL PHOTOS TAKEN FROM SAME LOCATION AT 150ft DISTANCE

JONES SIGN Your Vision. Accomplished. WWW.JONESIGN.COM	JOB #: 229267_R3 DATE: 01.22.2018 DESIGNER: J. CASTILLO SALES REP: J. HADAYA PROJ MGR: E. MARCHESI	REV DATE BY DESCRIPTION 02.09.18 JC REVISED SIGN FACE AREA 02.22.18 JC ADDED LED BOARD INFORMATION 02.23.18 JC REVISED LED BOARD INFORMATION	CLIENT APPROVAL LANDLORD APPROVAL OC	DATE DATE	NEXT LEVEL 12821 KNOTT STREET GARDEN GROVE, CA 92841 DESIGN PHASE: CONCEPTUAL	SHEET NUMBER 3.0
	NEXTELLEVEL sports complex			DESIGN PHASE: CONCEPTUAL		

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VISIBILITY ANGLE & BRIGHTNESS LEVELS



JONES SIGN Your Vision. Accomplished. WWW.JONESIGN.COM	JOB # 229267_R3 DATE 01.22.2018 DESIGNER J. CASTILLO SALES REP J. HADAYA PRQJ MGR E. MARCHESI	REV DATE BY DESCRIPTION 1 02.21.14 JC REVISED SIGNAGE AREA 2 02.21.14 JC ADDED LED BOARD INFORMATION 3 02.21.14 JC REVISED LED BOARD INFORMATION	CLIENT APPROVAL LANDLORD APPROVAL OC	DATE DATE	NEXT LEVEL 12821 KNOTT STREET GARDEN GROVE, CA 92841 DESIGN PHASE CONCEPTUAL	SHEET NUMBER 4.0
	NEXTLEVEL sports complex					

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RESOLUTION NO. 5925-18

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE APPROVING CONDITIONAL USE PERMIT NO. CUP-129-2018 FOR PROPERTY LOCATED ON THE NORTHWEST CORNER OF KNOTT STREET AND ACACIA AVENUE, AT 12821 KNOTT STREET, ASSESSOR'S PARCEL NO. 215-014-01.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on July 19, 2018, does hereby approve Conditional Use Permit No. CUP-129-2018 for the property located on the northwest corner of Knott Street and Acacia Avenue, at 12821 Knott Street, Parcel No. 215-014-01.

BE IT FURTHER RESOLVED in the matter of Conditional Use Permit No. CUP-129-2018, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Grant Brutten ("Applicant").
2. The Applicant has requested Conditional Use Permit approval to demolish an existing fifty-foot (50'-0") tall pole sign, and to construct a new fifty-nine foot (59'-0") tall, V-shaped, freeway-oriented electronic reader board sign (for on-premise advertisements), adjacent to and facing the Garden Grove Freeway (SR-22), for an existing indoor sports facility, Next Level Sports Complex, located at 12821 Knott Street.
3. The subject site has a General Plan Land Use Designation of Industrial/Commercial Mixed Use and is zoned Planned Unit Development No. PUD-104-70 (REV. 2014).
4. The Planning Commission has determined that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15311, Accessory Structures, and Section 15061, Review for Exemption, of the State CEQA Guideines.
5. Existing land use, zoning, and General Plan Land Use designation of the property subject to this Conditional Use Permit and in its vicinity have been reviewed.
6. Report submitted by City staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on July 19, 2018, and all interested persons were given an opportunity to be heard.
8. The Planning Commission gave due and careful consideration to the matter during its meeting of July 19, 2018; and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.32.030, are as follows:

FACTS:

The subject site is an existing 6.88-acre Planned Unit Development (PUD) located on the northwest corner of Knott Street and Acacia Avenue. The site has a General Plan Land Use Designation of Industrial and is zoned PUD-104-70 (Planned Unit Development). Currently, the site is improved with one (1) existing building that is approximately 120,800 square feet in area and is occupied by and operated as an indoor sports facility, Next Level Sports Complex ("NLSC").

The subject site abuts: a PUD to the north; a PUD to the south, across Acacia Avenue; the Garden Grove (22) Freeway to the south; R-1 (Single-Family Residential) zoned properties, across Brady Way to the west; and M-P (Industrial Park) zoned properties, across Knott Street, to the east.

On October 13, 1970, the City of Garden Grove approved Planned Unit Development No. PUD-104-70 to allow professional office, general commercial, and industrial uses on the subject property.

On December 13, 2011, the City of Garden Grove approved Amendment No. A-164-11 to allow "indoor sports facility" as a permitted use in the PUD-104-70 zone, subject to Conditional Use Permit approval.

The subject site is currently developed with an existing 120,316 square foot building occupied by an indoor sports facility, Next Level Sports Complex ("NLSC"). NLSC was approved under Conditional Use Permit No. CUP-340-11, in conjunction with A-164-11.

Within the parking lot, near the southeast corner of the site, is an existing fifty-foot (50') tall pole sign originally utilized by the previous on-site electronics retail business, Radioshack. The pole sign, which is not currently in use, is comprised of two separate internally illuminated box signs that are stacked on top of each other and separated with three feet (3') of space in between. The larger box sign, on top, is 14'-0" by 11'-0" (154 square feet), and the smaller box sign, below, is 3'-0" by 12'-0" (36 square feet). The total sign area of this existing pole sign is 190 square feet.

On May 27, 2014, the City of Garden Grove approved PUD-104-70 (REV. 2014), and adopted Ordinance No. 2839, which approved an amendment to the PUD-104-70 zone to allow a 59'-0" tall freeway-oriented electronic reader board sign, subject to Conditional Use Permit approval. PUD-104-70 (REV. 2014) establishes the following specific requirements and design standards for a freeway-oriented sign on the subject site:

Freeway-Oriented Electronic Reader Board Sign: One (1) freeway-oriented electronic reader board sign ("reader board sign") associated with a permitted Indoor Sports Facility may be permitted, subject to approval of a Conditional Use Permit, and compliance with all applicable provisions of Chapter 9.20 (Sign Standards) of the Garden Grove Municipal Code. Consistent with Chapter 9.20 of the Garden Grove Municipal Code, said reader board sign shall not be used as a billboard or to display off-premises commercial advertisements, and sign copy shall be limited to the display of on-premise commercial advertising and legal non-commercial messages, including messages providing the public with information from the City of Garden Grove relating to events affecting the community. Said reader board sign shall be located within one-hundred feet (100'-0") of the SR-22 Garden Grove freeway right-of-way and shall be in compliance with all applicable state and federal laws. The maximum height of said reader board sign shall not exceed fifty-nine feet (59'-0"). Said reader board sign shall be consistent in design with an arched top feature that includes "Garden Grove" copy and the Garden Grove City Logo on a lattice background graphic under the "Garden Grove" copy. The top arched feature shall be a minimum of eight feet (8'-0") in height.

In conjunction with the approval of PUD-104-70 (REV. 2014), the City also approved Conditional Use Permit No. CUP-379-14, which allowed the applicant to retrofit the existing, legal fifty-foot (50') tall pole sign (double-sided with an existing sign area of 190 square feet), with a new freeway-oriented sign with a 394 square foot electronic reader board that would display on-premise advertisements, a 102 square foot internally illuminated cabinet with the Next Level Sports Complex logo, and a 66 square foot internally illuminated arched cabinet at the top with the City of Garden Grove logo (total proposed sign area of 562 square feet).

Following the approval of CUP-379-14, the applicant had one (1) year to exercise said approval before the land use entitlement would expire. Due to financial reasons, the applicant was not able to move forward on the sign project and the approval of CUP-379-14 expired.

The Applicant has indicated it is now ready to move forward on the sign project and has submitted a new request to reinstate the prior CUP sign approval, with a minor modification relating to the location/placement of the sign, which is now proposed to be directly adjacent to and facing the Garden Grove Freeway (SR-22) to the south.

The scope of the previous CUP approval (CUP-379-14) was to retrofit the existing legal fifty-foot (50') tall Radioshack pole sign (double-sided with an existing sign area of 190 square feet) with a new freeway-oriented electronic reader board sign (double-sided with a total proposed sign area of 562 square feet) that would display on-premise advertisements. However, the applicant's new/current proposal is to demolish the existing 50' tall Radioshack pole sign, and construct the same 59'-0" tall sign at a location directly adjacent to and facing the Garden Grove Freeway (SR-22).

On June 14, 2017, the applicant conducted a "flag test", in conjunction with City Staff, to determine the appropriate height and visibility of the sign at its new proposed placement/location on the property, which was to abut the southerly property line, and directly face the Garden Grove Freeway (SR-22) to the south. A "flag test" is a procedure which involves the use of a crane, attached to a truck. A makeshift sign is created using horizontal bars and flags attached to the corners, as the crane lifts the makeshift sign up to specific heights to mimic the appearance of the proposed sign. During the "flag test", the applicant raised the makeshift sign up to the proposed height of 59'-0" (as measured to the topmost part of the proposed sign). Subsequently, City Staff observed and reviewed the proposed height and location of the sign at several distances and directions, including many vantage points from the Garden Grove Freeway. City Staff determined that the proposed height of 59'-0", as permitted under PUD-104-70 (REV. 2014), was optimal, including the proposed location of the sign.

Prior to submitting its land use application, the applicant held a public noticed neighborhood meeting, on April 12, 2018, to review and receive input from the community on the new sign proposal. A total of seven (7) persons from the public attended the neighborhood meeting. Attendees raised several questions and concerns relating to: intent for the use of the sign; design and technology of the sign; and other issues unrelated to the sign such as traffic concerns on Stanford Avenue (an adjacent street to the north of the subject site). The applicant provided responses to the questions and concerns raised during the meeting that included: the sign will only be for on-premise advertisements and would not be used as a billboard; that the faces of the V-shaped sign will be angled directly toward and facing the Garden Grove Freeway to the south, and not facing any residential properties to the west, or the office building to the east. At the conclusion of the neighborhood meeting, City Staff noted that the general consensus of the attendees appeared to be to support of the sign project and that those concerns and questions raised at the neighborhood meeting appeared to have been addressed and clarified.

The design and appearance of the proposed new sign would be virtually the same as what was previously approved under CUP-379-14. The new sign would be comprised of three (3) sections. The first topmost section will be an arched feature that will be 8'-0" in height and 16'-7" (66 square feet) in width featuring the City of Garden Grove logo and "Garden Grove" copy in an arched fashion. This section will be made of custom fabricated aluminum over a steel frame, with a plexiglass face, and will be internally illuminated. The second (middle) section will be a fabricated aluminum cabinet with a routed face, backed by plexiglass, and internally illuminated. This cabinet will be 4'-3" in height and 24'-0" (102 square feet) in width and will feature the Next Level Sports Complex business logo. The third bottommost section will be a full color LED (light emitting diode) electronic reader board box sign, that will be 15'-3" in height and 25'-10.3" in width (394 square feet). The total sign area for the proposed freeway-oriented electronic reader board sign will be 562 square feet. The proposed freeway-oriented electronic reader board sign will have a "V" shape where each face will be angled to face the adjacent Garden Grove Freeway. Conditions of approval for the project

include a requirement that the lighting of the sign will be directed and shielded so as not to cause light and glare on any adjacent residential properties, as well as a requirement that the sign meet the requirements of CalTrans for lighted signs adjacent to freeways. The proposed sign has been designed to utilize certain advanced sign technological features to ensure that there will be no negative impacts to adjacent properties as they relate to light and glare. Such technology will include features such as, but not limited to: louvers for each LED (light emitting diode) to direct the light output to a specific set angle (away from residents and other nearby sensitive uses); automatic dimmers that lower the light intensity/output depending on the amount of sunlight during the day; and programming to provide a fixed single image during late night hours between 10:00 p.m. to 7:00 a.m.

FINDINGS AND REASONS:

Conditional Use Permit:

1. That the proposed use will be consistent with the City's adopted General Plan and redevelopment plan.

The proposed freeway-oriented electronic reader board sign will be consistent with the General Plan Land Use Designation of the property, which is Industrial/Commercial Mixed Use, provided that the project complies with all conditions of approval. Furthermore, freeway-oriented electronic reader board signs are conditionally permitted under PUD-104-70 (REV. 2014).

2. That the requested use at the location proposed will not adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area.

The installation of a proposed freeway-oriented electronic reader board sign will not adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area. The Applicant is proposing to demolish the existing 50' tall Radioshack pole sign on the site, and construct the same 59'-0" tall sign at a location directly adjacent to and facing the Garden Grove Freeway (SR-22). Based on a flag test, City Staff has determined that the proposed location and height of the sign is optimal. The design and appearance of the proposed new sign would be virtually the same as what was previously approved under CUP-379-14. The proposed freeway-oriented electronic reader board sign will have a "V" shape where each face will be angled to face the adjacent Garden Grove Freeway. Conditions of approval for the project include a requirement that the lighting of the sign will be directed and shielded so as not to cause light and glare on any adjacent residential properties, as well as a requirement that the sign meet the requirements of CalTrans for lighted signs adjacent to freeways. The proposed sign has been designed to utilize certain advanced sign technological features to ensure that there will be no negative impacts to adjacent properties as they relate to light and glare. Such technology will include features such as, but not

limited to: louvers for each LED (light emitting diode) to direct the light output to a specific set angle (away from residents and other nearby sensitive uses); automatic dimmers that lower the light intensity/output depending on the amount of sunlight during the day; and programming to provide a fixed single image during late night hours between 10:00 p.m. to 7:00 a.m. The conditions of approval for the freeway-oriented electronic reader board sign will minimize potential impacts to the adjoining area. Provided the conditions of approval for the project are adhered to for the life of the project, the use will be harmonious with persons who work and live in the area.

3. The proposed use will not interfere with the use, enjoyment, or valuation of the property of other persons located in the vicinity of the site.

The proposed freeway-oriented electronic reader board sign will not unreasonably interfere with the use, enjoyment, or valuation of the property of other persons located within the vicinity of the site, provided that the conditions of approval are adhered to for the life of the project. The freeway-oriented electronic reader board sign has been designed to be compatible with the use on-site and is conditioned not to cause light and/or glare on adjacent streets and properties.

4. The proposed use will not jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare.

Provided that the freeway-oriented electronic reader board sign is constructed as proposed and adheres to the conditions of approval for the life of the project, the proposed freeway-oriented electronic reader board sign will not jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare. Conditions of Approval require the freeway-oriented electronic reader board sign to be installed per requirements of Caltrans for lighted signs adjacent to freeways and that the sign lighting be directed and shielded so as not to cause light and glare on adjacent properties.

5. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title or as is otherwise required in order to integrate such use with the uses in the surrounding area.

The proposed project proposes to construct a 59-foot tall freeway-oriented electronic reader board sign within one hundred feet (100'-0") of the Garden Grove Freeway (SR-22) right-of-way. The sign can be easily accommodated on-site without negatively impacting on and off-site circulation.

6. The proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic to be generated, and by other public or private service facilities as required.

The requested Conditional Use Permit will authorize the applicant to construct a 59-foot tall freeway-oriented electronic reader board sign that is located adjacent to and facing the Garden Grove Freeway (SR-22). The sign is intended to serve the existing indoor sports facility on the site and will replace an existing pole sign. The site is adequately served by highways and streets, and the location of the sign will not impede access to and from the site nor will it require any site or street modifications to accommodate the sign.

INCORPORATION OF FACTS AND REASONS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and reasons set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

The Conditional Use Permit possesses characteristics that would indicate justification of the request in accordance with Municipal Code Section 9.32.030.

In order to fulfill the purpose and intent of the Municipal Code and thereby promote the health, safety, and general welfare, the attached Conditions of Approval (Exhibit "A") shall apply to Conditional Use Permit No. CUP-129-2018.

EXHIBIT "A"
Conditional Use Permit No. CUP-129-2018

12821 Knott Street

CONDITIONS OF APPROVAL

General Conditions

1. The applicant and each owner of the property shall execute, and the applicant shall record a "Notice of Agreement with Conditions of Approval and Discretionary Permit of Approval," as prepared by the City Attorney's Office, on the property. Proof of such recordation is required within 30 days of this approval. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to each of the following: the project applicant, Grant Brutton, the developer of the project, the owner(s) and tenants(s) of the property, and each of their respective successors and assigns. All conditions of approval are required to be adhered to for the life of the project, regardless of property ownership. Any changes of the Conditions of Approval require approval by the Planning Commission.
2. This Conditional Use Permit only authorizes the erection, maintenance, and operation of a freeway-oriented electronic reader board sign associated with a permitted Indoor Sports Facility in accordance with Planned Unit Development No. PUD-104-70 (REV. 2014), the plans and elevations presented to the Planning Commission, and these Conditions of Approval. Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning regulations or any Federal, State, County and City laws and regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
3. Minor modifications to the Conditional Use Permit and/or these Conditions of Approval may be approved by the Community and Economic Development Director, in his or her discretion. Proposed modifications to the project and/or these Conditions of Approval determined by the Community and Economic Development Director not to be minor in nature shall be subject to approval of new and/or amended land use entitlements by the applicable City hearing body.
4. Any and all correction notice(s) generated through the plan check and/or inspection process is/are hereby incorporated by reference as conditions of approval and shall be fully complied with by the owner, applicant, and all agents thereof.

5. The approved plans, and use of the subject property, as represented by the Applicant, are an integral part of the decision approving this Conditional Use Permit. If major modifications are made to the approved plans, or other related changes that result in the intensification of the project or create impacts that have not been previously addressed, the proper entitlements shall be obtained reflecting such changes
6. All conditions of approval shall be implemented at the applicant's expense, except where specified in the individual condition.

Community and Economic Development Department

7. This approval shall allow the applicant to demolish an existing fifty-foot (50'-0") tall pole sign, and to construct a new fifty-nine foot (59'-0") tall, V-shaped, freeway-oriented electronic reader board sign (for on-premise advertisements), adjacent to and facing the Garden Grove Freeway (SR-22), for an existing indoor sports facility, Next Level Sports Complex, located at 12821 Knott Street, in substantial compliance with the approved set of plans submitted with the subject Conditional Use Permit request and the requirements of PUD-104-70 (REV. 2014), except as modified herein.
8. The maximum height of the freeway-oriented electronic reader board sign shall be fifty-nine feet (59'-0"), measured from grade to top of sign.
9. One (1) freeway-oriented electronic reader board sign associated with a permitted Indoor Sports Facility shall be permitted on-site and must be located within one hundred feet (100'-0") of the SR-22 Garden Grove freeway right-of-way.
10. Consistent with the plans reviewed and approved by the Planning Commission, the design of the sign shall include an arched top with "Garden Grove" copy and a Garden Grove City Logo on a lattice background graphic under the "Garden Grove" copy. The top arched feature shall be a minimum of eight feet (8'-0") in height. The applicant shall submit color samples for the entire sign structure to the Planning Division for review and final approval. Plans, which include structural calculations and details, shall be submitted to the Building Division for plan check to obtain building permits. The paint used on the pole, or the pole itself, shall be graffiti resistant.
11. The freeway-oriented electronic reader board sign illumination, including the LED screen, shall be dimmed at dusk and shall not cause light and glare on adjacent properties, streets, and freeway right-of-way. Maximum output of light during nighttime hours shall be at a level between 5 and 15 percent, subject to approval of the City Manager or his designee. In no case shall the

nighttime light level of the sign exceed 15 percent. The electronic reader board shall maintain one image between the hours of 10:00 p.m. to 7:00 a.m., or remain dark/unlighted, in order to reduce light and annoyance impacts to the adjacent residential neighborhoods. During all other times, the images on the electronic reader board shall be maintained at minimum eight (8) second intervals and shall not change more frequently. The face of the electronic reader board sign shall be angled away from the adjacent residents located to the west of the site so that the face of the sign is directed more in-line with the Garden Grove Freeway (SR-22) right-of-way.

12. The proposed freeway-oriented electronic reader board sign shall comply with the CalTrans standards for lighted and reader board signs that are adjacent to the freeway right-of-way. The applicant shall receive and provide a copy of the CalTrans approval for the proposed freeway-oriented electronic reader board sign prior to issuance of a building permit from the City of Garden Grove.
13. Consistent with Chapter 9.20 (Sign Standards) of the Garden Grove Municipal Code, the freeway-oriented electronic reader board sign shall not be used as a billboard or to display off-premises commercial advertisements, and sign copy shall be limited to the display of on-premise commercial advertising and legal non-commercial messages, including messages providing the public with information from the City of Garden Grove relating to events affecting the community. Wherein not otherwise specified, the freeway-oriented electronic reader board sign shall comply with all requirements of the Garden Grove Municipal Code, as it relates to signage, including, but not limited to, Section 9.20.030(A)(1).
14. This Condition No. 14 is intended to address the unique nature of the current use of the site as an indoor sports facility at which discreet sponsored on-site events of limited duration occasionally take place. Should the applicant/operator of the indoor sports facility on the site wish to utilize the name of an off-premises corporate or other sponsor in conjunction with advertising on the reader board sign of a limited duration on-site event (i.e., an Orange County regional basketball tournament), the applicant/operator may do so provided: (1) the sponsor name appears on the sign face concurrently with information concerning the promoted event; (2) the advertising appears no more than ten (10) days prior to the event and no later than the date upon which the event concludes; and (3) at any time that the sponsor's name or information appears on the sign, a minimum of thirty percent (30%) of the sign face shall be utilized for the event promoted and no more than seventy percent (70%) of the sign face shall be devoted to the sponsor. An example of such an event would be an "Orange County Regional Basketball Tournament, April 20-24, 2019 at Next Level


Sports Complex". Examples of sign faces meeting these requirements are attached hereto as Attachment 1. In order to facilitate the applicant's/operator's use of the sign for these purposes, the applicant/operator may submit proposed sponsor sign faces on an annual or other periodic basis for review and approval to the Community and Economic Development Director prior to the use of such sign faces. Submittals shall include the proposed height, size, color, text and other content of the proposed sign faces for each such event, including visual examples of the specific type of form and content of the proposed sign faces. Submittal should occur not later than sixty (60) days in advance of the proposed use of the sign face in order to ensure timely processing and use. Use of a sign face that has been approved in advance and in writing by the Community and Economic Development Director shall, as to the City, be conclusively deemed to establish conformance with Municipal Code Section 9.20.030 (A)(1), including any amendments thereto. Any proposed modifications to the approved sign faces shall be subject to review and approval of by the Community and Economic Development Director. The foregoing provisions providing for City's advance review and approval in the limited circumstance where the applicant/operator of the indoor sports facility on the site wishes to utilize the name of an off-premises corporate or other sponsor in conjunction with advertising on the reader board sign of a limited duration on-site event are solely intended to, and will only be applied to, ensure compliance with Section 9.20.030 of the Garden Grove Municipal Code and are not intended, and will not be applied, to serve as a prior restraint on legal on-premises advertising. The foregoing provisions of this Condition authorizing utilization of the name of an off-premises corporate or other sponsor in conjunction with advertising on the reader board sign of a limited duration on-site event shall only apply for so long as the site continues to be lawfully used as an indoor sports facility at which discreet sponsored on-site events of limited duration occasionally take place.

15. In consideration of the City's approval of the requested Conditional Use Permit, the applicant has offered to, and will, display information pertaining to community events on the sign, as requested and/or approved by the City Manager. Unless otherwise agreed to by the applicant, said display time dedicated to community events shall not exceed ten (10) percent of the overall advertising time the electronic reader board sign is changing copy.
16. Hours and days of construction shall be as set forth in the City of Garden Grove's Municipal Code Section 8.47.010, referred to as the Noise Control Ordinance.

17. The applicant and the property owner shall submit signed letters acknowledging receipt of the decision approving Conditional Use Permit No. CUP-129-2018, and their agreement with all Conditions of the Approval.
18. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Conditional Use Permit No. CUP-129-2018. The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award, which may issue against the City including, but not limited to, any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.
19. Unless a time extension is granted pursuant to Section 9.32.030.D.9 of Title 9 of the Municipal Code, the use authorized by this approval of Conditional Use Permit No. CUP-129-2018 shall become null and void if the subject use or construction necessary and incidental thereto is not commenced within one (1) year of the expiration of the appeal period and thereafter diligently advanced until completion of the project.
20. It shall be the applicant's responsibility to verify that any building or site improvements do not impermissibly interfere with any recorded easements on the subject property or the adjacent properties.
21. Construction plans for the development of the sign submitted for building plan check shall address Title 24 for outdoor lighting.

Fire Department

22. The proposed sign shall not encroach into any required fire lane. Adequate emergency vehicle access shall be maintained at all times.



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ATTACHMENT 1

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.2.	SITE LOCATION: South side of Chapman Avenue, west of Lewis Street at 13280 Chapman Avenue
HEARING DATE: July 19, 2018	GENERAL PLAN: Low Medium Density Residential
CASE NO.: Site Plan No. SP-258-99 (REV. 2018)	ZONE: PUD-133-99 (Planned Unit Development)
APPLICANT: Michael Wesner, Director of Cemeteries for Cathedral Memorial Gardens	CEQA DETERMINATION: Exempt
PROPERTY OWNER(S): Roman Catholic Bishop of Orange (RCBO), Deacon Michael Stock Esq.	APN: 231-022-03

REQUEST:

A request to modify the approved plans, under Site Plan No. SP-258-99, to complete the Memorial Gardens expansion, located at 13280 Chapman Avenue (APN: 231-022-03), within the allowances of the previously approved cemetery area. The project will include additional interment area and the construction of three (3) new buildings consisting of an administrative office, a cremation niche building, and a maintenance building. Also, a request to modify the Conditions of Approval, under SP-258-99, to modify the maximum building and wall height requirement to facilitate the construction of the proposed three (3) new buildings.

BACKGROUND:

The subject, approximately 33-acre, site was previously operated and owned by the Crystal Cathedral Ministries until around 2011. Development of the Crystal Cathedral campus began in 1958. Since that time, the campus underwent several modifications and expansions including: the Arboretum (1961); the Tower of Hope (1968); the Crystal Cathedral Sanctuary (1980); the Memorial Gardens Cemetery (1987); the Family Life Center (1990); and the International Hospitality Center (2000). In 2011, the Diocese of Orange purchased the Crystal Cathedral property and renamed it "Christ Cathedral". The Christ Cathedral campus is currently undergoing several renovations and modifications, which commenced in early 2017. Renovations are anticipated to be complete by mid-2019.

Over the years, the City of Garden Grove approved various land use entitlements related to the development, modification, and expansion of the Christ Cathedral

(formerly Crystal Cathedral) campus. The following is a brief log and summary of the approved entitlements:

Conditional Use Permit 858 (1958): A conditional use permit granted by the Orange County Board of Supervisors in December of 1958 for the establishment of a drive-in church.

V-120-64 (1964): The approval of a Variance to allow a building over two (2) stories in the R-1 zone, for the construction of an 18-story structure to be utilized as church classrooms, offices, and chapel. Proposed variance requested a waiver of Section 9204.1 of the Municipal Code, which pertains to building height.

V-131-65 (1965): A Variance from Part 4, Article IX of the Municipal Code to permit the establishment of a church Sunday school on three (3) residentially-zoned lots presently improved with single-family residences.

V-118-67 (1967): A Variance from Section 9204 of the Municipal Code to permit the continued use of three (3) single-family dwellings for Sunday school purposes, as approved under V-131-65.

CUP-106-67 (1967): Approval of a Conditional Use Permit for the establishment of a church-sponsored pre-school on a property zoned R-1 (Single-Family Residential) and located at the northwest corner of Dawn Avenue and Lewis Street.

PUD-109-72 (1972): Rezoning of approximately 20 acres from the R-1 (Single-Family Residential) zone and the R-3 (Multiple-Family Residential) zone to the PUD (Planned Unit Development) zone and approval of a General Development Plan for the expansion of the existing church facilities (Crystal Cathedral Sanctuary) and the construction of a 13-story, 200-unit building to provide apartment housing for the elderly.

- PUD-109-72/Revised '85 (1985): Approval of an amendment to a previously approved PUD (PUD-109-72) to permit a cemetery on a 73,700 square foot portion of the total 19.29-acre Crystal Cathedral campus. A focused Environmental Impact Report was performed relating to the proposed cemetery to study potential environmental and economic impacts of a cemetery use on the surrounding residential area.
- PUD-102-87 and PM-87-184 (1987): Rezoning of the 26.5-acre Crystal Cathedral campus from PUD-109-72 and R-2 (Limited Multiple-Family Residential) zones to the PUD-102-87 zone, site plan approval, and a tentative parcel map for the construction of a five level (four levels above grade) 131,348 square foot family life center, and a 234-foot-high crystal tower.
- MM to PUD-102-87 (1991): A minor modification to PUD-102-87 allowing a change in the type of trees planted along the southerly property line adjacent to the Memorial Gardens cemetery, to ensure adequate screening and buffering of visibility into the Crystal Cathedral property. Also, an approval for a change to the phasing (from three phases to two phases) for the construction of the Memorial Gardens cemetery.
- MM to PUD-102-87 (1999): A revision to PUD-102-87, along with Conditional Use Permit approval, to allow for the use and construction of an electronic message board sign at the southwest corner of Chapman Avenue and Lewis Street.
- PUD-133-99 (2000): Rezoning of a 6.46-acre site from R-1 (Single-Family Residential) and a 26.5-acre site from PUD-102-87 to PUD-133-99 in order to facilitate the construction of a 53,465 square foot, six-level, International Hospitality Center and the future expansion of the existing cemetery. Associated entitlements included Site Plan

No. SP-258-99, Tentative Parcel Map Nos. PM-99-214 and PM-99-215, and a Development Agreement. Also approved, was Street Vacation No. SV-110-99 to allow the vacation of a portion of Anzio Street and Salerno Street.

- PUD-133-99 (Rev. 05) (2005): Approval to incorporate a single parcel into the overall Crystal Cathedral campus, located at 12186 Salerno Street, a portion of the larger Crystal Cathedral property (12141 Lewis Street), parcel numbers 231-161-09, 231-161-17, and 231-161-18, demolish the existing single-family home, remove the access from the cul-de-sac on Salerno Avenue, and to construct a new warehouse building. Associated entitlements included Site Plan No. SP-373-05 and Tentative Parcel Map No. PM-99-214.
- PUD-133-99 (Rev. 05/09) (2010): A modification of the permitted uses of Planned Unit Development No. PUD-133-99 (Rev. 05) to allow general and medical offices, medical clinics, and trade schools on the property located on the southwest corner of Chapman Avenue and Lewis Street at 13280 Chapman Avenue, and including APN Nos. 231-021-24, 231-022-01, 231-031-02, 07 and 08; 231-161-09, 17, and 18; and 231-163-11 and 12.
- LLA-11-13 (2013): Lot Line Adjustment to reconfigure six (6) lots in order to adjust portions of lot lines for each property and to consolidate the six (6) parcels into three (3) parcels ("Parcel 1", "Parcel 2", and "Parcel 3"). Affected parcels included: 231-022-01; 231-031-07 and 08; and 231-161-09, 17, and 18.
- LLA-010-2015 (2015): Lot Line Adjustment to reconfigure three (3) lots, referenced under LLA-11-13 as Parcels 1, 2, and 3, in order to adjust portions of lot lines of each parcel to accommodate a future expansion of the existing Memorial Gardens cemetery.

In 1986, the City of Garden Grove approved Planned Unit Development No. PUD-109-72/Revised '85, which permitted the use and development of a cemetery on a maximum 73,700 square foot portion of the existing church site. The cemetery was approved to include interment areas such as lawn crypts, wall crypts, and exterior and interior wall niches. The applicant had initially proposed building heights restricted to (12) feet, with future associated buildings restricted to a height eighteen (18) feet. In response to residents who were located immediately adjacent to the proposed cemetery site, the final resolution, approved by the City of Garden Grove, restricted the maximum height of any facility/building related to the cemetery to seven (7) feet above grade. Additional conditions of approval in the final 1986 resolution included, but were not limited to, the following:

- Maximum cemetery area of 73,700 square feet.
- No mortuary services and/or crematoriums shall be allowed.
- A Site Plan, approved by the Planning Commission, would be required for all proposed cemetery structures.
- Minimum setback of five (5) feet to the Orange County Flood Control District channel.
- Minimum setback of seven and one half (7.5) feet to adjacent residential use.
- The use of grave markers, as opposed to headstones, shall be required.

Subsequent to the approval of PUD-109-72/Revised '85, a 32,084 square foot cemetery, Cathedral Memorial Gardens, was constructed, with the remaining 41,616 square feet of approved cemetery area left vacant and reserved for a future expansion of the Memorial Gardens.

In 2000, the City of Garden Grove approved PUD-133-99 and Site Plan No. SP-258-99, which, in part: (i) re-zoned and incorporated 6.46 acres of adjacent properties into the existing 26.5-acre church site, thereby expanding the overall Planned Unit Development to 32.96 acres; (ii) facilitated the construction of the International Hospitality Center; and (iii) addressed the future expansion of the cemetery.

PUD-133-99 repealed and replaced PUD-102-87 in full. Pursuant to PUD-133-99, the cemetery is a permitted use, subject to Site Plan approval. Site Plan No. SP-258-99 is subject to several conditions of approval relating to the Memorial Gardens cemetery, which continue many of the preceding restrictions, but also include several new conditions. These conditions include, but are not limited to:

- No mortuaries or crematoriums allowed.
- The use of grave markers, as opposed to upright monuments, shall be required.

- Soft pack form of ammunition in order to mitigate noise during military funerals shall be required.
- All urns for cremated remains in the cemetery portion of the site shall be made of unbreakable material.
- Maximum cemetery area shall be 73,700 square feet.
- Maximum building height shall be 7 feet (as measured from grade).
- Maximum wall height (niches) shall be 7 feet (as measured from grade).

Where previously (prior to 2000), the Crystal Cathedral, and more notably, the Memorial Gardens cemetery, was in close proximity to residential uses (as evidenced by the 7-foot building/wall height restrictions), by 2000, the Crystal Cathedral had acquired all of the property that comprises the current campus today, eliminating all residences adjacent to the existing cemetery.

Existing Conditions:

The following exhibits and photos display the views from the project area in relation to the surrounding areas. Currently, the Christ Cathedral campus is surrounded by tall mature trees and walls, which screen views from the interior of the campus to areas surrounding the property.

Exhibit 1 (below) shows that the nearest residences are between 275 feet to 650 feet away from the project area.

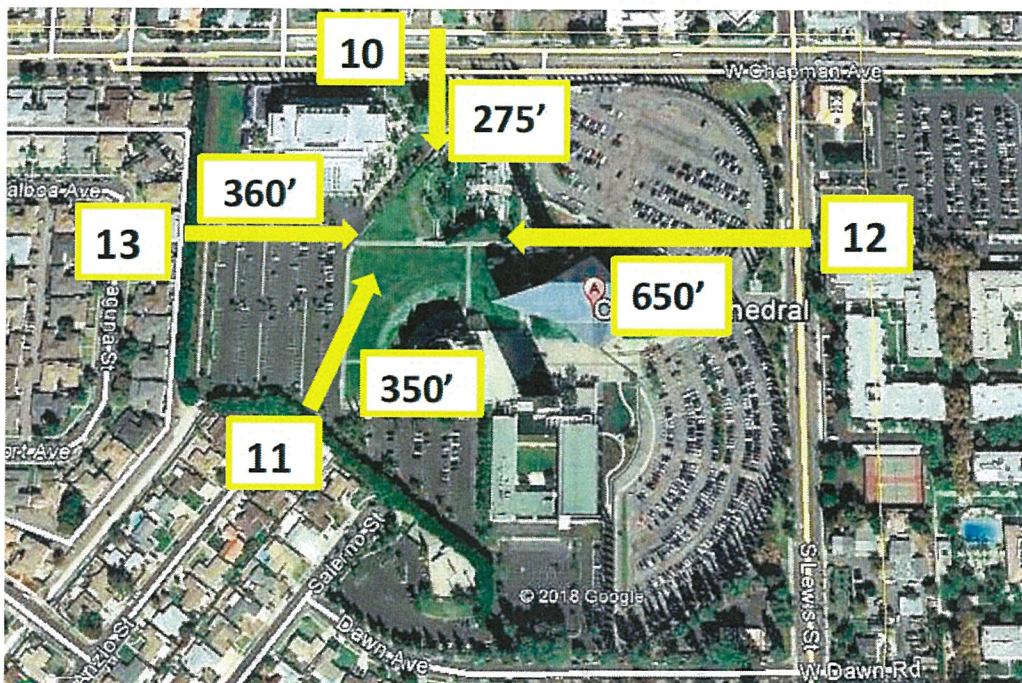


Exhibit 1



#10 – View from North



#11 – View from South



#12 – View from East



#13 – View from West

The existing Memorial Gardens cemetery was designed and constructed to feature a sunken (bowl-like) central turfed lawn area (below grade), to minimize exterior visibility and to create a more private and quiet environment for its guests. The central sunken area is surrounded by other elements of the cemetery such as wall crypts, exterior and interior niches, "family estates", walkways, and landscaping. The majority of the existing cemetery is well below grade, while the perimeter of the cemetery is lined with walls and structures that do not exceed seven (7) feet above grade. Additionally, the cemetery itself is surrounded by other existing tall buildings within the campus that further screen visibility to the cemetery.

The applicant has requested to modify the approved plans and the conditions of approval under SP-258-99, to complete the Memorial Gardens expansion within the allowances of the previously approved 73,700 square foot cemetery area. The project will include additional interment area and the construction of three (3) new buildings consisting of an administrative office, a cremation niche building, and a maintenance building for the groundskeepers.

On March 21, 2018, the applicant voluntarily held a public noticed neighborhood meeting at its Pastoral Center to receive input from the community on its proposal. A total of two (2) persons (husband and wife), Garden Grove residents, attended the neighborhood meeting. The residents live across Chapman Avenue to the northwest of the subject site, north of the existing 4-story (5 levels, with one level below grade) Pastoral Center building. The residents' noted questions included: (i) how the project could impact their property; and (ii) if there would be any impacts from cremations relating to smells. The Christ Cathedral representatives clarified for the residents that: (i) their residence is fully screened by the existing 4-story Pastoral Center building; (ii) that, from their residence, they currently do not have, and would not have, any views to the existing and expanded cemetery; and (iii) that the Memorial Gardens cemetery does not, and will not, have any cremations performed on-site. The residents in attendance did not note any additional questions or concerns.

DISCUSSION:

SITE PLAN:

Site Design, Circulation, Building Design & Floor Plan:

Exhibit 2 (below) shows the location of the existing Memorial Gardens cemetery area (outlined with solid lines) and the proposed expansion area (outlined with dashed lines), including where both are located in relation to the overall Christ Cathedral campus. The existing cemetery area comprises 32,084 square feet, and the expansion area comprises 41,192 square feet, for a proposed total cemetery area of 73,276 square feet. This proposed area is within the allowances of the previously approved 73,700 square foot of cemetery area.

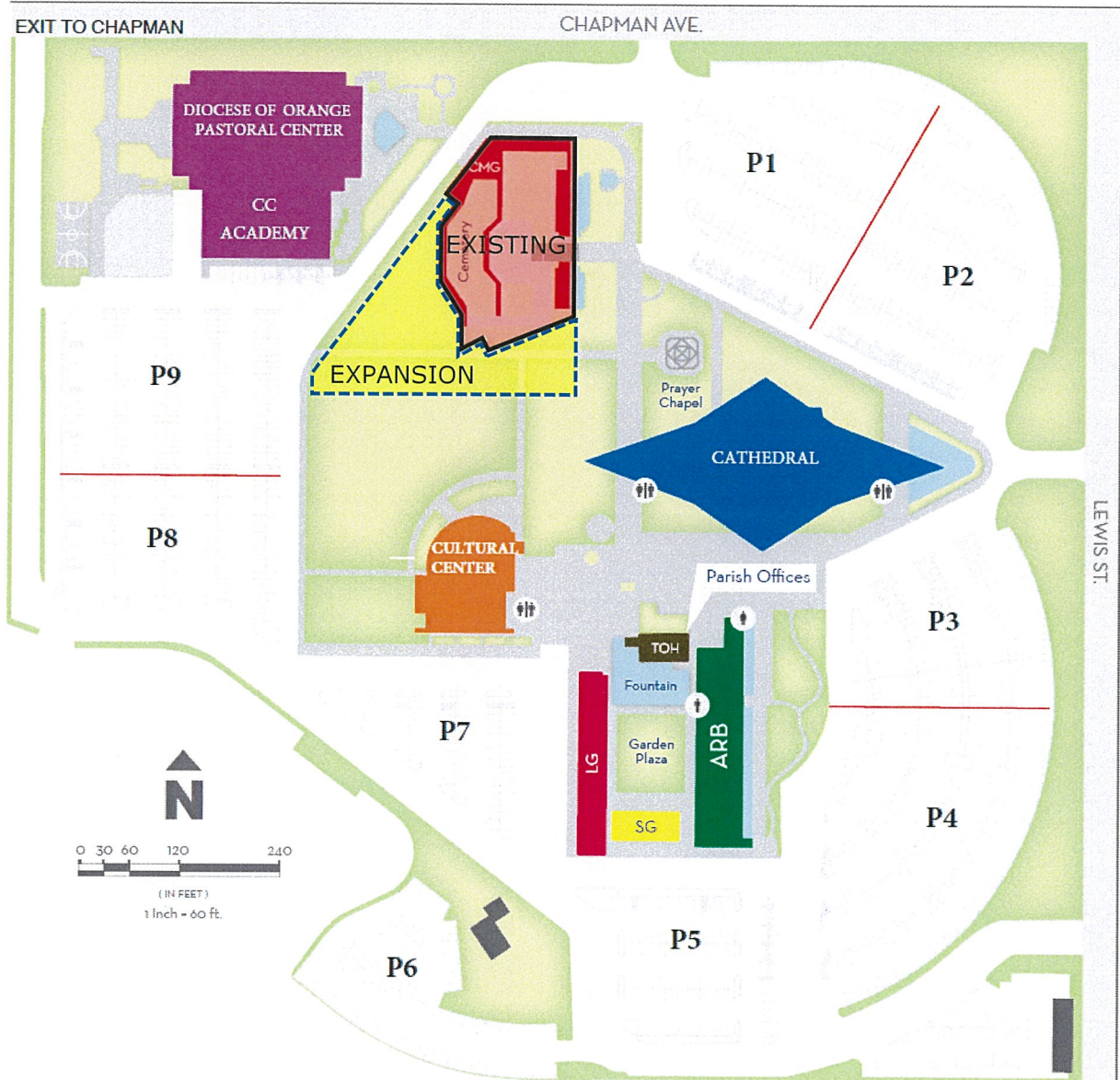


Exhibit 2

The proposed expansion of the Memorial Gardens cemetery will consist of additional interment area in the form of lawn crypts, wall crypts, and interior and exterior niches. Additionally, the proposal includes the construction of three (3) new buildings, which include a maintenance facility, an administrative office, and an interior cremation niche building ("Resurrection Mausoleum"). The entire expansion will mimic the existing design, utilizing the sunken below grade aspects, by creating a large field of turfed lawn crypts, partially surrounded by "family estates", and encircled by wall crypts, walls niches, and the three (3) proposed buildings.

Exhibit 3 (below) shows the locations of the three (3) proposed new buildings, and also notes the topmost part of each structure and their respective heights above the current seven-foot (7') height limit.

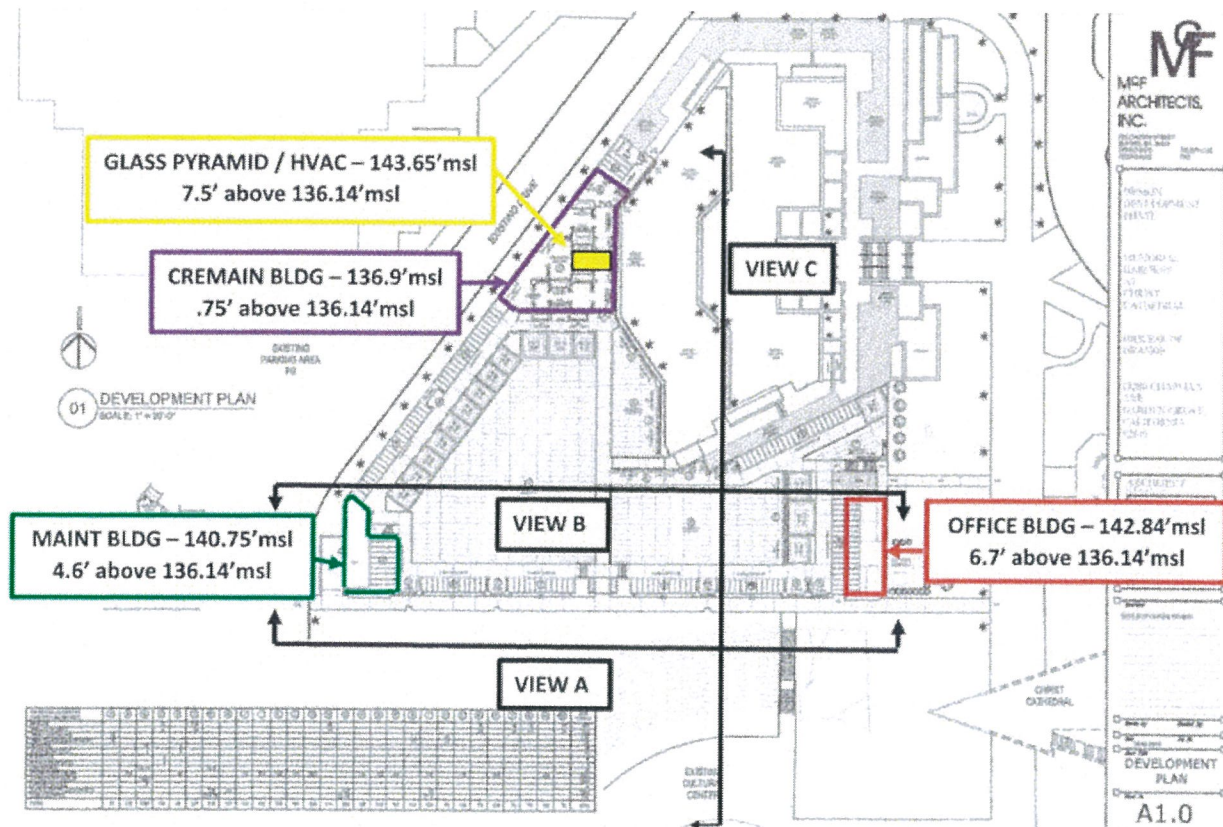


Exhibit 3

The interior niche [cremain] building, called the “Resurrection Mausoleum”, is approximately 3,308 square feet in area, will have glass and solid walls facing the interior of the cemetery, and will have a solid wall with a row of clearstory windows on the outside facing the Pastoral Center. The solid walls will be constructed of cast-in place concrete. The Resurrection Mausoleum will contain a total of 1,948 glass and stone fronted interior niches. The bulk of the Resurrection Mausoleum building will be 0.75’ (9 inches) above the highest point of the existing structures and walls (the topmost part of the existing structures and walls at max 7’ height). The mausoleum building will also include a small glass pyramid architectural feature/shape, which is 7.5’ above the current 7’ height limit.

The maintenance facility building is approximately 1,344 square feet in area and its walls are to be constructed of cast-in place concrete and stucco cement plaster over concrete block. The maintenance building will contain maintenance equipment for storage, and an employee breakroom. The maintenance building will be approximately 4.6’ above the current 7’ height limit.

The administrative office building is approximately 1,152 square feet in area and will be constructed of metal studs and sheathing, with full insulation, and covered by granite panels. The interior of the office will consist of a reception area, offices, and an interior storage/work area room. The office building will be 6.7' above the current 7' height limit.

The highest point of the proposed Project is the top of the glass pyramid on top of the Mausoleum. The following information provides distances and heights, from existing buildings/structures on the Christ Cathedral campus, in relation to the proposed cemetery expansion and its proposed buildings.

- The Christ Cathedral sanctuary is 106' taller than the Mausoleum pyramid and is 78' away from the closest point of the Project.
- The campanile (crystal tower) is 222' taller than the Mausoleum pyramid and is 84' away from the closest point of the Project.
- The Pastoral Center is 71' taller than the Mausoleum pyramid and is 100' away from the closest point of the Project.
- The Cultural Center is 71' taller than the Mausoleum pyramid and is 123' away from the closest point of the Project.
- The Tower of Hope is 238' taller than the Mausoleum pyramid and is 290' away from the closest point of the Project.

The average combined height of the three (3) proposed buildings is 3.25' above the 7' height limit. The proposed heights of the three new structures are substantially dwarfed by the heights of the existing Christ Cathedral facilities. The three new structures are not visible from off-site views from Chapman Avenue or Lewis Street, and have extremely limited visibility through walls and substantial landscape screening of tall mature trees along the southerly and westerly property lines, facing the nearest residential areas. Staff has reviewed the proposed Project and does not anticipate any negative impacts to nearby surrounding uses, provided the conditions of approval are adhered to for the life of the project.

The Project area, the existing and proposed cemetery expansion, will utilize the existing parking areas, vehicular driveways, and pedestrian accessways, as well as new pedestrian walkways, which will comply with and provide required handicap accessibility.

Landscaping:

The landscape design of the cemetery expansion areas will continue that of the existing cemetery so as to be coordinated and complimentary, with turfed lawn

areas, drought tolerant groundcover, accented by palm trees. Other areas of the cemetery will be enhanced with additional trees, decomposed granite areas, and low shrubs. The applicant is required to submit a landscape and irrigation plan to the City that complies with the landscaping requirements of Title 9 of the Municipal Code, including the City's Water Efficiency Guidelines.

Parking:

A parking demand study, prepared in 1985 by a licensed professional traffic engineering firm, Linscott, Law & Greenspan, was approved along with the approval of Planned Unit Development No. PUD-109-72/Revised '85, which permitted the use and development of a cemetery on a 73,700 square foot portion of the campus. The parking study determined that no special parking provisions, or additional parking spaces, would be necessary to accommodate the Memorial Gardens cemetery, because the cemetery was not to conduct interment services on Sunday, so as not to impact the general Sunday worship services of the Christ Cathedral.

A recent parking study was prepared in late 2017, by the same licensed professional traffic engineering firm, Linscott, Law & Greenspan, to address parking demand as it relates to the planned renovations and site modifications of the Christ Cathedral campus. As part of the site improvements and renovations, many of which are currently underway or nearing completion, the number of parking spaces on-site have been increased to 1,334 spaces. The parking study determined that adequate parking would be available to accommodate the campus during all situations and days of the week. With a mass-time focus and a use of 1,247 parking spaces, a surplus of 87 parking spaces would be available. Based on Sunday peak parking conditions, a surplus of 192 parking spaces would be available. And based on all other hours on a typical weekday and weekend day (during the Memorial Gardens peak hours), a surplus of 938 parking spaces would be available.

The project's operations will remain the same as the existing cemetery. The office will not be open on Sundays and major holidays. Interment services will be held from Monday to Saturday, except for holidays, between 9:00 a.m. to 2:30 p.m. No funeral services will be held on Sundays or major holidays in order to avoid potential parking demand conflicts.

The administrative office and the maintenance facility are expected to generate a very minimal parking demand (1 parking space per 250 square feet of gross floor area) at a maximum of ten (10) parking spaces. No additional parking would be required for the interior niche building. The 1985 and 2017 parking studies have demonstrated that more than adequate parking would be available to accommodate the new uses on-site.

Signage:

The cemetery will contain a minimum of exterior signage, including identification of the office, smaller signs at the entrances identifying hours of operation, standard restroom signage, and interior emergency exits. All such signage will comply with the requirements of the Municipal Code.

Conclusion:

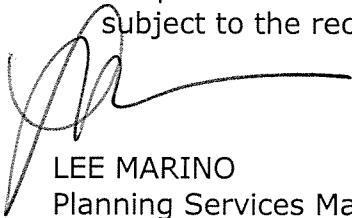
The applicant requests to modify the approved plans, under Site Plan No. SP-258-99, to complete the Memorial Gardens expansion, within the allowances of the previously approved cemetery area. The applicant also requests to modify the Conditions of Approval, under SP-258-99, to modify the maximum building and wall height requirement, increasing to 15' height maximum, to facilitate the construction of the proposed three (3) new buildings.

With exception of the applicant's request to modify the building and wall height requirement, the Memorial Gardens cemetery will continue to adhere to and operate in compliance with all conditions of approval. The vast majority of the Project will not exceed the current 7' height limit. The 7' height limit was enacted in 2000, when residences were located immediately adjacent to the existing cemetery at that time. Since then, the adjoining properties were acquired by the previous owner, Crystal Cathedral, and the closest residences are at least 275' to 650' away from the project area. Furthermore, the Memorial Gardens is screened from view by walls and mature trees/landscaping, including other monumental structures on the campus that are significantly taller than the project's top elevation. Staff has reviewed the request and is supportive of the proposal.

RECOMMENDATION:

Staff recommends that the Planning Commission take the following action:

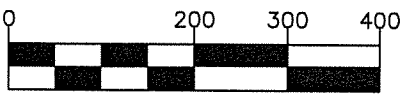
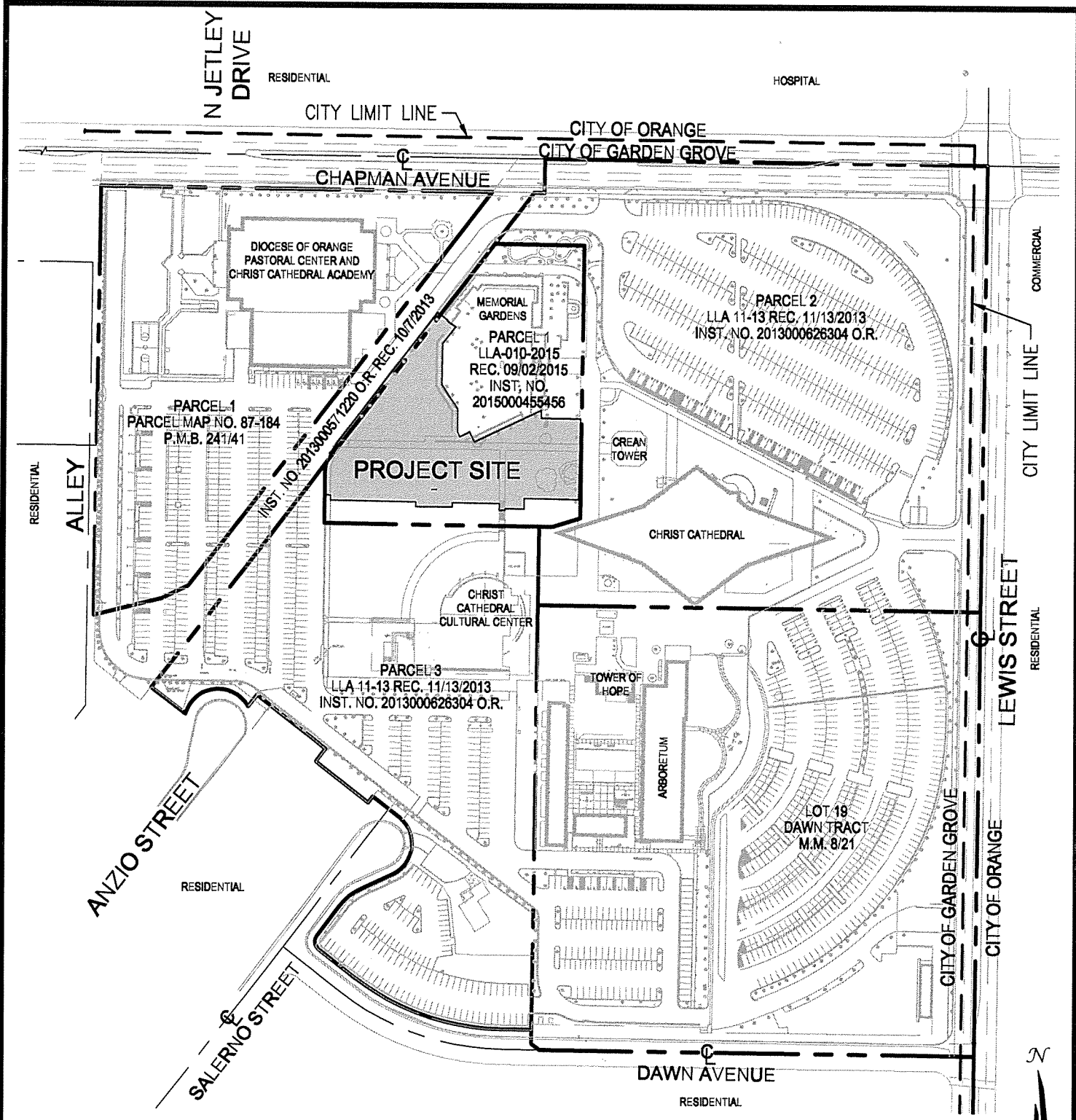
1. Adopt the attached Resolution approving Site Plan No. SP-258-99 (REV. 2018), subject to the recommended Conditions of Approval.



LEE MARINO
Planning Services Manager



By: Chris Chung
Urban Planner



(IN FEET)
1 INCH = 200 FEET



2/8/18

1 OF 1	AREA MAP
	MEMORIAL GARDENS AT CHRIST CATHEDRAL DIOCESE OF ORANGE 13280 CHAPMAN AVENUE GARDEN GROVE, CA

DESIGN DEVELOPMENT PHASE

MEMORIAL GARDENS AT CHRIST CATHEDRAL

DIocese OF ORANGE

13280 CHAPMAN AVE. GARDEN GROVE, CALIFORNIA 92840

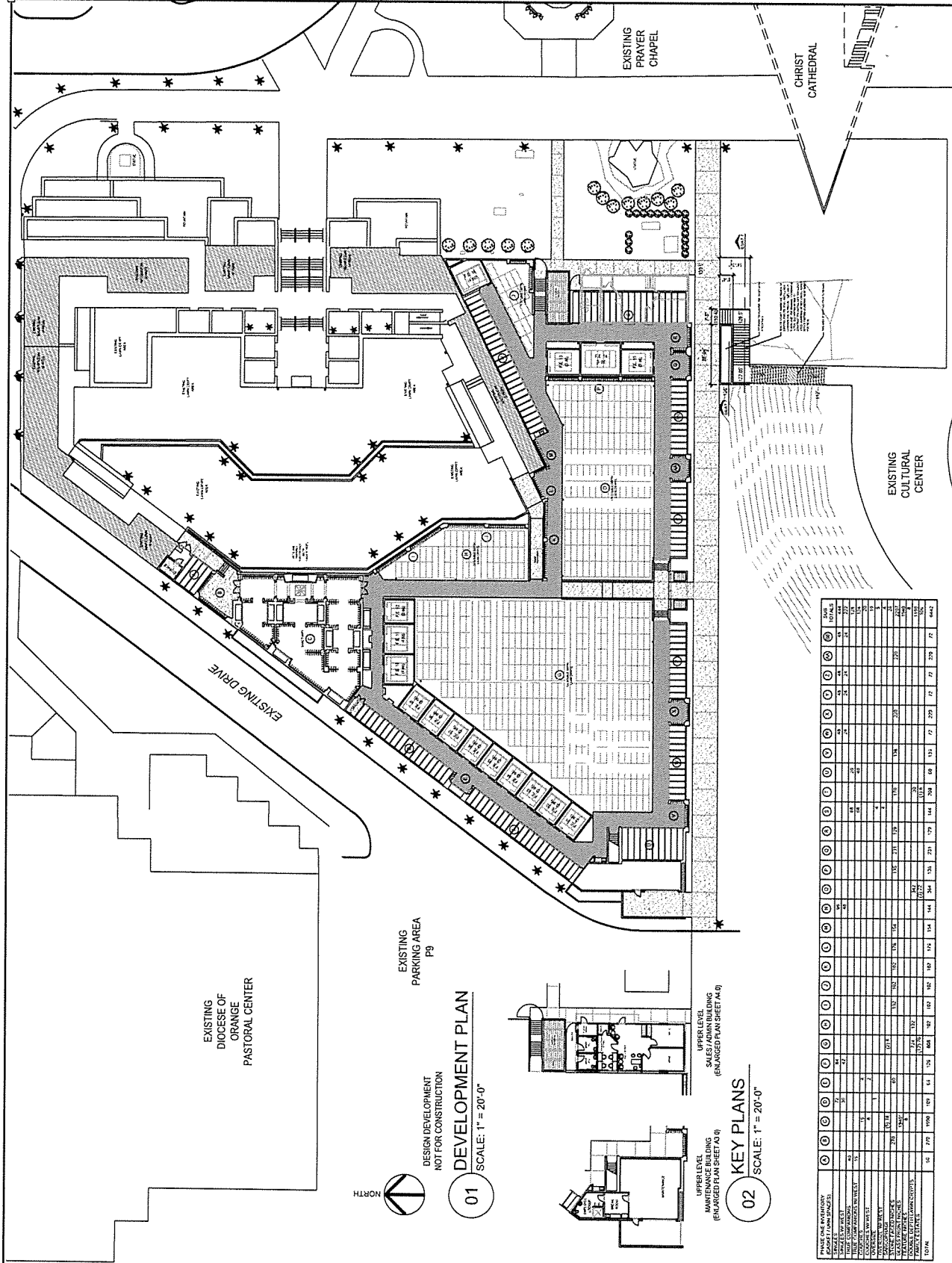
ARCHITECT ANTONIO LUI

02.01.2017 OWNER REVIEW
 03.14.2017 OWNER REVIEW
 06.30.2017 DESIGN DEV. REVIEW
 07.20.2017 DESIGN DEV. REVIEW
 11.17.2017 REV. SALES BLDG.
 12.05.2017 REV. SALES BLDG.
 01.22.2018 PRELIM. CITY REVIEW
 01.29.2018 PRELIM. CITY REVIEW

Drawn by: BCB
 Checked by: MAF
 Date: 01/06/2018
 Scale: 1" = 20'-0"

DEVELOPMENT PLAN

A1.0



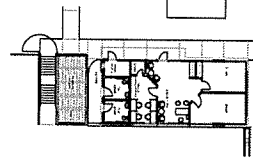
EXISTING PARKING AREA P9

EXISTING DIocese OF ORANGE PASTORAL CENTER

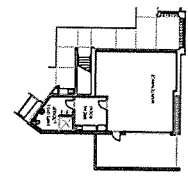
DESIGN DEVELOPMENT NOT FOR CONSTRUCTION

DEVELOPMENT PLAN SCALE: 1" = 20'-0"

01



UPPER LEVEL SALES/ADMIN BUILDING (RELANGUED PLAN SHEET M40)



UPPER LEVEL MAINTENANCE BUILDING (RELANGUED PLAN SHEET M40)

KEY PLANS SCALE: 1" = 20'-0"

02

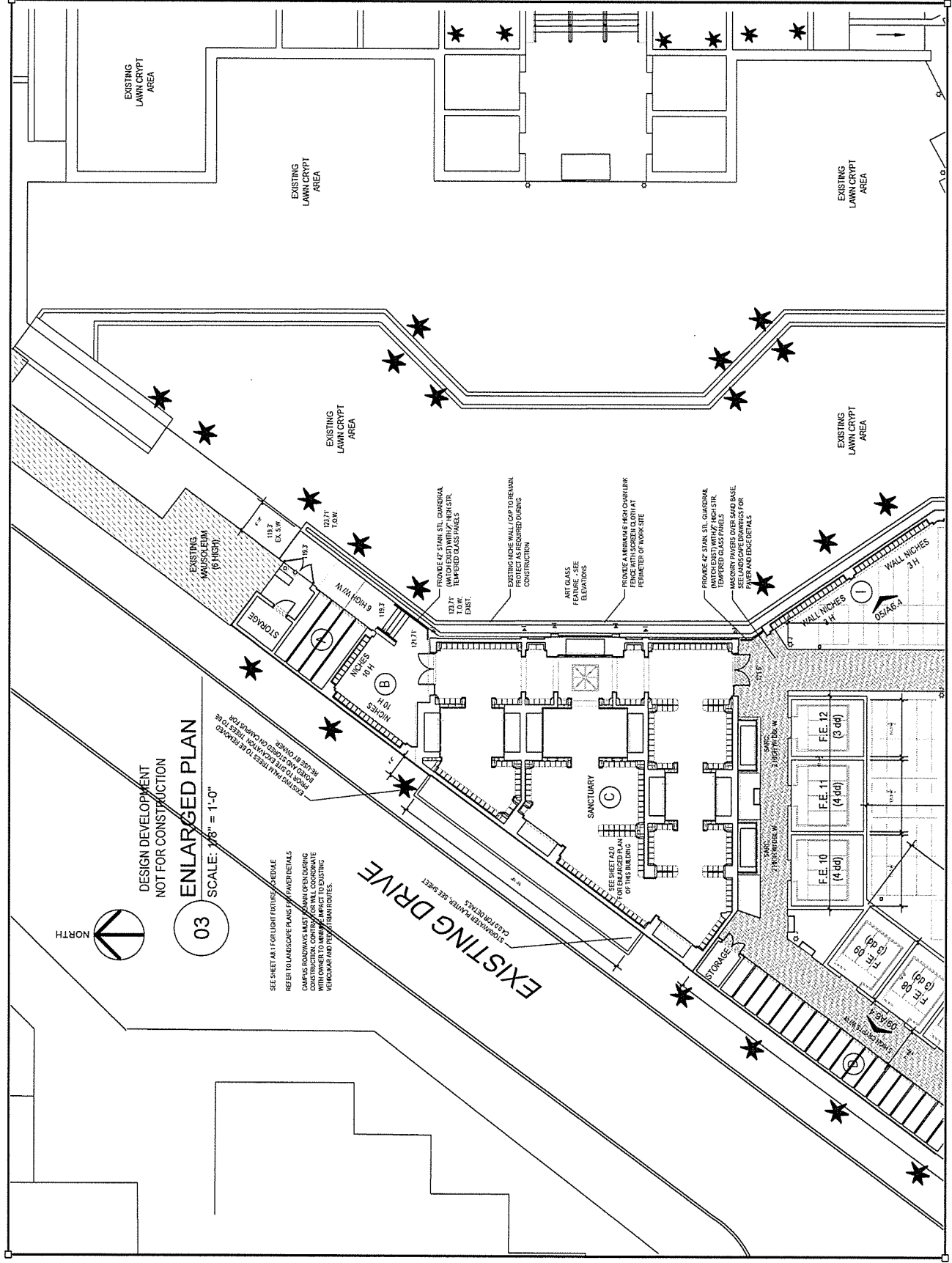
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2	SALES/ADMIN BUILDING	10,796.5	102	EXISTING PRAYER CHAPEL	10,796.5
3	EXISTING PRAYER CHAPEL	10,796.5	103	EXISTING CULTURAL CENTER	10,796.5
4	EXISTING CULTURAL CENTER	10,796.5	104	EXISTING DRIVE	10,796.5
5	EXISTING DRIVE	10,796.5	105	EXISTING PASTORAL CENTER	10,796.5
6	EXISTING PASTORAL CENTER	10,796.5	106	EXISTING DIocese OF ORANGE PASTORAL CENTER	10,796.5
7	EXISTING DIocese OF ORANGE PASTORAL CENTER	10,796.5	107	EXISTING PARKING AREA P9	10,796.5
8	EXISTING PARKING AREA P9	10,796.5	108	EXISTING GARDENS	10,796.5
9	EXISTING GARDENS	10,796.5	109	EXISTING FOUNTAIN	10,796.5
10	EXISTING FOUNTAIN	10,796.5	110	EXISTING WALKWAY	10,796.5
11	EXISTING WALKWAY	10,796.5	111	EXISTING PLANTING	10,796.5
12	EXISTING PLANTING	10,796.5	112	EXISTING LIGHTING	10,796.5
13	EXISTING LIGHTING	10,796.5	113	EXISTING SIGNAGE	10,796.5
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70	EXISTING TOTAL	10,796.5	170	EXISTING TOTAL	10,796.5
71	EXISTING TOTAL	10,796.5	171	EXISTING TOTAL	10,796.5
72	EXISTING TOTAL	10,796.5	172	EXISTING TOTAL	10,796.5
73	EXISTING TOTAL	10,796.5	173	EXISTING TOTAL	10,796.5
74	EXISTING TOTAL	10,796.5	174	EXISTING TOTAL	10,796.5
75	EXISTING TOTAL	10,796.5	175	EXISTING TOTAL	10,796.5
76	EXISTING TOTAL	10,796.5	176	EXISTING TOTAL	10,796.5
77	EXISTING TOTAL	10,796.5	177	EXISTING TOTAL	10,796.5
78	EXISTING TOTAL	10,796.5	178	EXISTING TOTAL	10,796.5
79	EXISTING TOTAL	10,796.5	179	EXISTING TOTAL	10,796.5
80	EXISTING TOTAL	10,796.5	180	EXISTING TOTAL	10,796.5
81	EXISTING TOTAL	10,796.5	181	EXISTING TOTAL	10,796.5
82	EXISTING TOTAL	10,796.5	182	EXISTING TOTAL	10,796.5
83	EXISTING TOTAL	10,796.5	183	EXISTING TOTAL	10,796.5
84	EXISTING TOTAL	10,796.5	184	EXISTING TOTAL	10,796.5
85	EXISTING TOTAL	10,796.5	185	EXISTING TOTAL	10,796.5
86	EXISTING TOTAL	10,796.5	186	EXISTING TOTAL	10,796.5
87	EXISTING TOTAL	10,796.5	187	EXISTING TOTAL	10,796.5
88	EXISTING TOTAL	10,796.5	188	EXISTING TOTAL	10,796.5
89	EXISTING TOTAL	10,796.5	189	EXISTING TOTAL	10,796.5
90	EXISTING TOTAL	10,796.5	190	EXISTING TOTAL	10,796.5
91	EXISTING TOTAL	10,796.5	191	EXISTING TOTAL	10,796.5
92	EXISTING TOTAL	10,796.5	192	EXISTING TOTAL	10,796.5
93	EXISTING TOTAL	10,796.5	193	EXISTING TOTAL	10,796.5
94	EXISTING TOTAL	10,796.5	194	EXISTING TOTAL	10,796.5
95	EXISTING TOTAL	10,796.5	195	EXISTING TOTAL	10,796.5
96	EXISTING TOTAL	10,796.5	196	EXISTING TOTAL	10,796.5
97	EXISTING TOTAL	10,796.5	197	EXISTING TOTAL	10,796.5
98	EXISTING TOTAL	10,796.5	198	EXISTING TOTAL	10,796.5
99	EXISTING TOTAL	10,796.5	199	EXISTING TOTAL	10,796.5
100	EXISTING TOTAL	10,796.5	200	EXISTING TOTAL	10,796.5

DESIGN DEVELOPMENT PHASE
 MEMORIAL GARDENS AT CHRIST CATHEDRAL
 DIOCESE OF ORANGE
 13280 CHAPMAN AVE.
 GARDEN GROVE, CALIFORNIA 92840

ARCHITECT
 PATRICIA LIU

03.2017 OWNER REVIEW
 05.14.2017 OWNER REVIEW
 06.20.2017 DESIGN REV. REVIEW
 07.10.2017 DESIGN REV. REVIEW
 11.12.2017 REV. SALES BLDG.
 12.29.2017 REV. SALES BLDG.
 01.23.2018 REV. SALES BLDG.
 01.23.2018 REV. SALES BLDG.
 01.23.2018 REV. SALES BLDG.

Project No. 1601
 Date: 01-20-2018
 Enlarged Plan
 A1.3



DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION
03
 ENLARGED PLAN
 SCALE: 1/8" = 1'-0"

SEE SHEET A.1 FOR LIGHT FIXTURE SCHEDULE
 REFER TO LANDSCAPE PLANS FOR PLANTER DETAILS
 COURSE FINISHES AND MATERIALS
 CONSTRUCTION CONTRACTORS SHALL COORDINATE WITH OWNER TO REMOVE IMPACT TO EXISTING VEHICULAR AND PEDESTRIAN ROUTES.

EXISTING DRIVE

SANCTUARY (C)

SEE SHEET A.2 FOR DETAILS OF THIS FINISHING

SEE SHEET A.3 FOR DETAILS OF THIS FINISHING

SEE SHEET A.4 FOR DETAILS OF THIS FINISHING

SEE SHEET A.5 FOR DETAILS OF THIS FINISHING

SEE SHEET A.6 FOR DETAILS OF THIS FINISHING

SEE SHEET A.7 FOR DETAILS OF THIS FINISHING

SEE SHEET A.8 FOR DETAILS OF THIS FINISHING

SEE SHEET A.9 FOR DETAILS OF THIS FINISHING

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SEE SHEET A.99 FOR DETAILS OF THIS FINISHING

SEE SHEET A.100 FOR DETAILS OF THIS FINISHING

DESIGN DEVELOPMENT PHASE

MEMORIAL GARDENS AT CHRIST CATHEDRAL, DIOCESE OF ORANGE

13280 CHAPMAN AVE. GARDEN GROVE, CALIFORNIA 92840

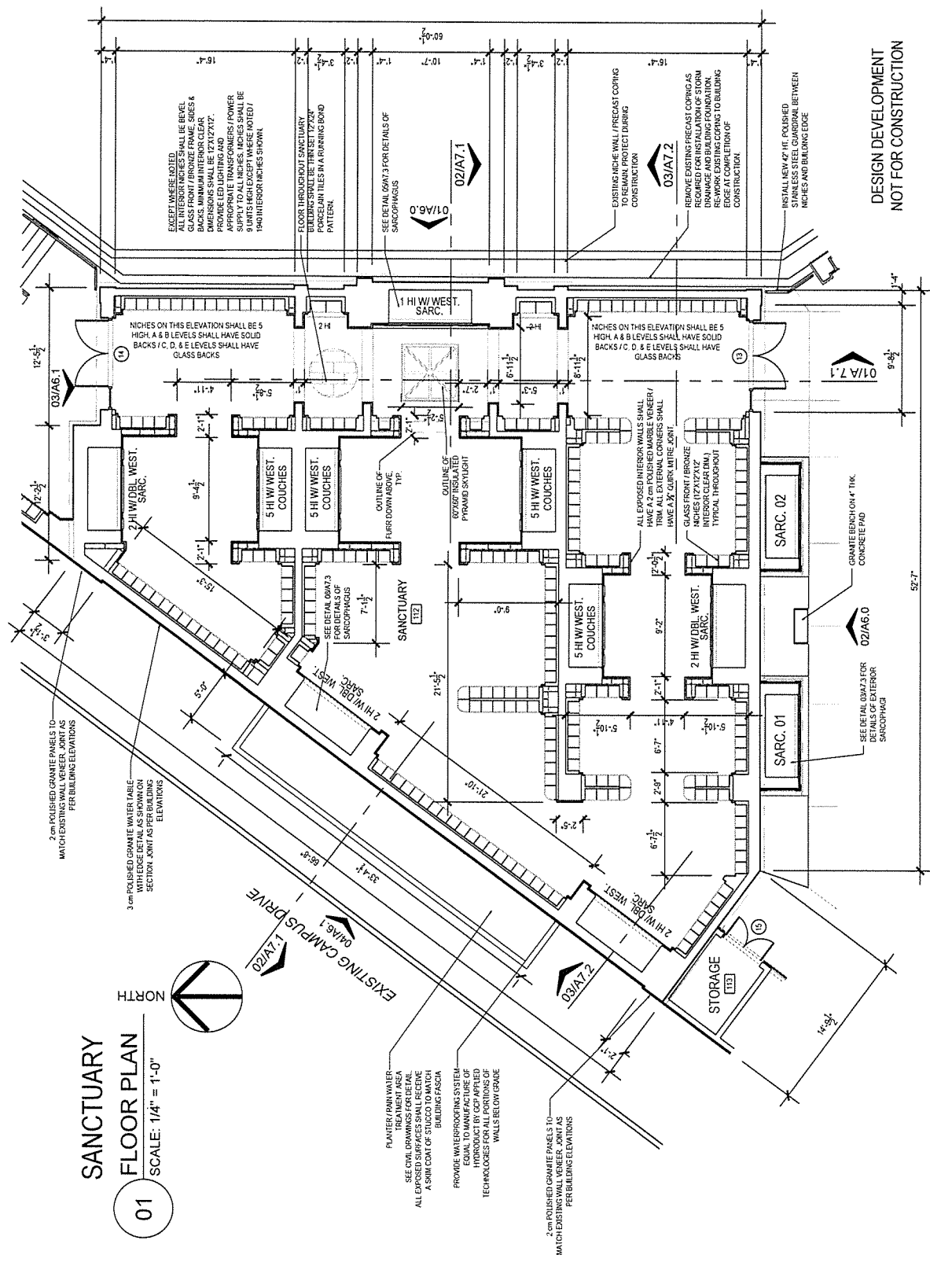
ARCHITECT PATRICIA L. LI

03.01.2017 OWNER REVIEW
 03.14.2017 OWNER REVIEW
 06.29.2017 DESIGN REV. REVIEW
 08.02.2017 DESIGN REV. REVIEW
 11.12.2017 REV. SALES BLOG
 12.09.2017 REV. SALES BLOG
 01.11.2018 REV. SALES BLOG
 03.22.2018 REV. SALES BLOG

03/06/2018
 01/06/2018
 03/06/2018
 01/06/2018
 03/06/2018
 01/06/2018
 03/06/2018
 01/06/2018

SACTUARY PLAN

A2.0



01
SACTUARY FLOOR PLAN
 SCALE: 1/4" = 1'-0"

DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION

DESIGN DEVELOPMENT PHASE

MEMORIAL GARDENS AT CHRIST CATHEDRAL

DIocese OF ORANGE

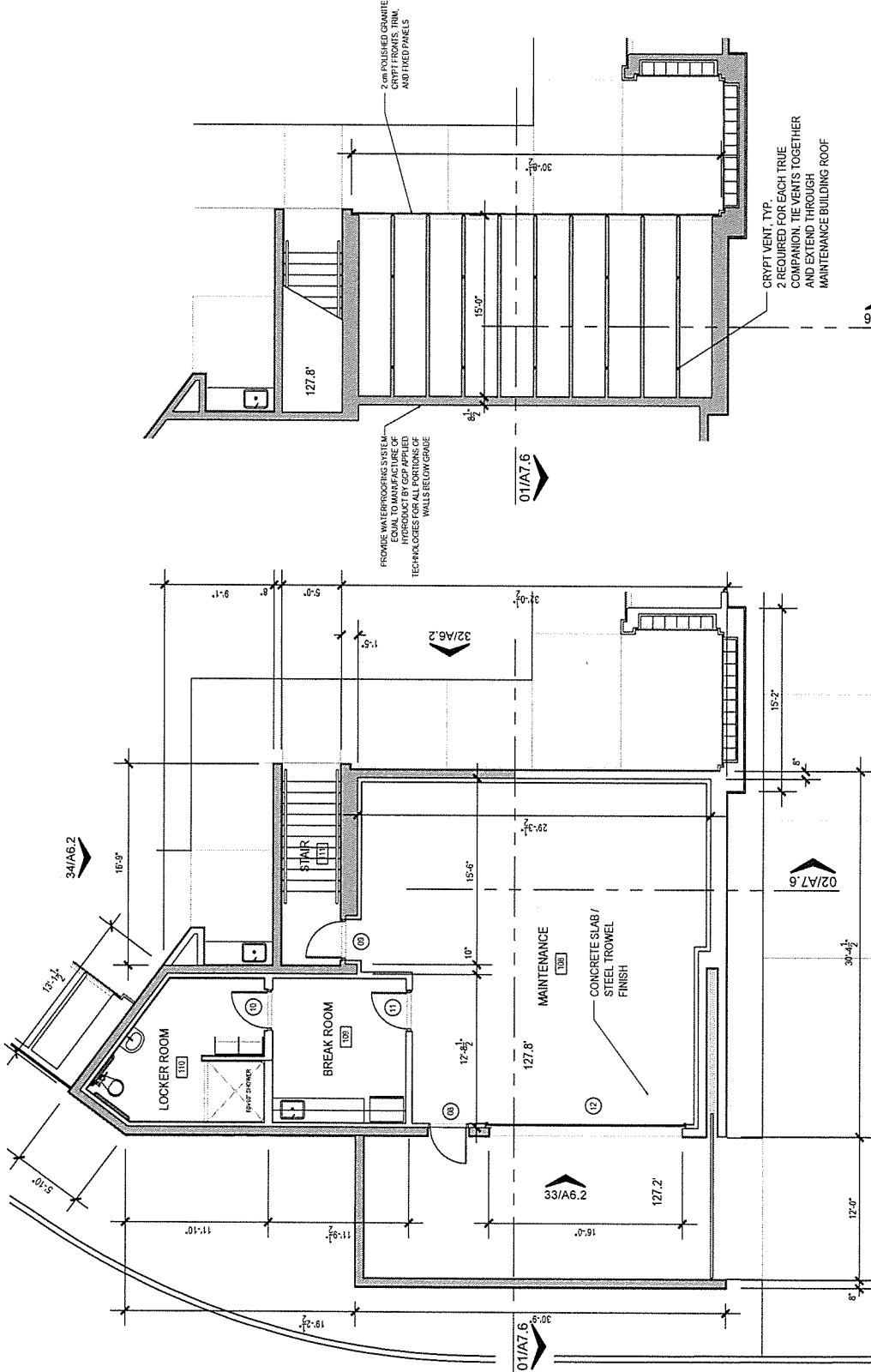
13280 CHAPMAN AVE. GARDEN GROVE, CALIFORNIA 92840

ARCHITECT PATRICK L. LY

03.01.2017 OWNER REVIEW
 03.14.2017 OWNER REVIEW
 06.20.2017 DESIGN REVIEW
 11.17.2017 REV. SALES BLDG.
 12.06.2017 REV. SALES BLDG.
 01.10.2018 PRELIM. PLAN
 01.25.2018 PRELIM. CITY REVIEW

Approved By: *[Signature]* MCF
 Date: 09/22/2016
 Maint. Bldg. PLAN

A3.0



01 FLOOR PLAN
 SCALE: 1/4" = 1'-0"

02 SUB-LEVEL PLAN (CRYPTS)
 SCALE: 1/4" = 1'-0"

DESIGN DEVELOPMENT NOT FOR CONSTRUCTION

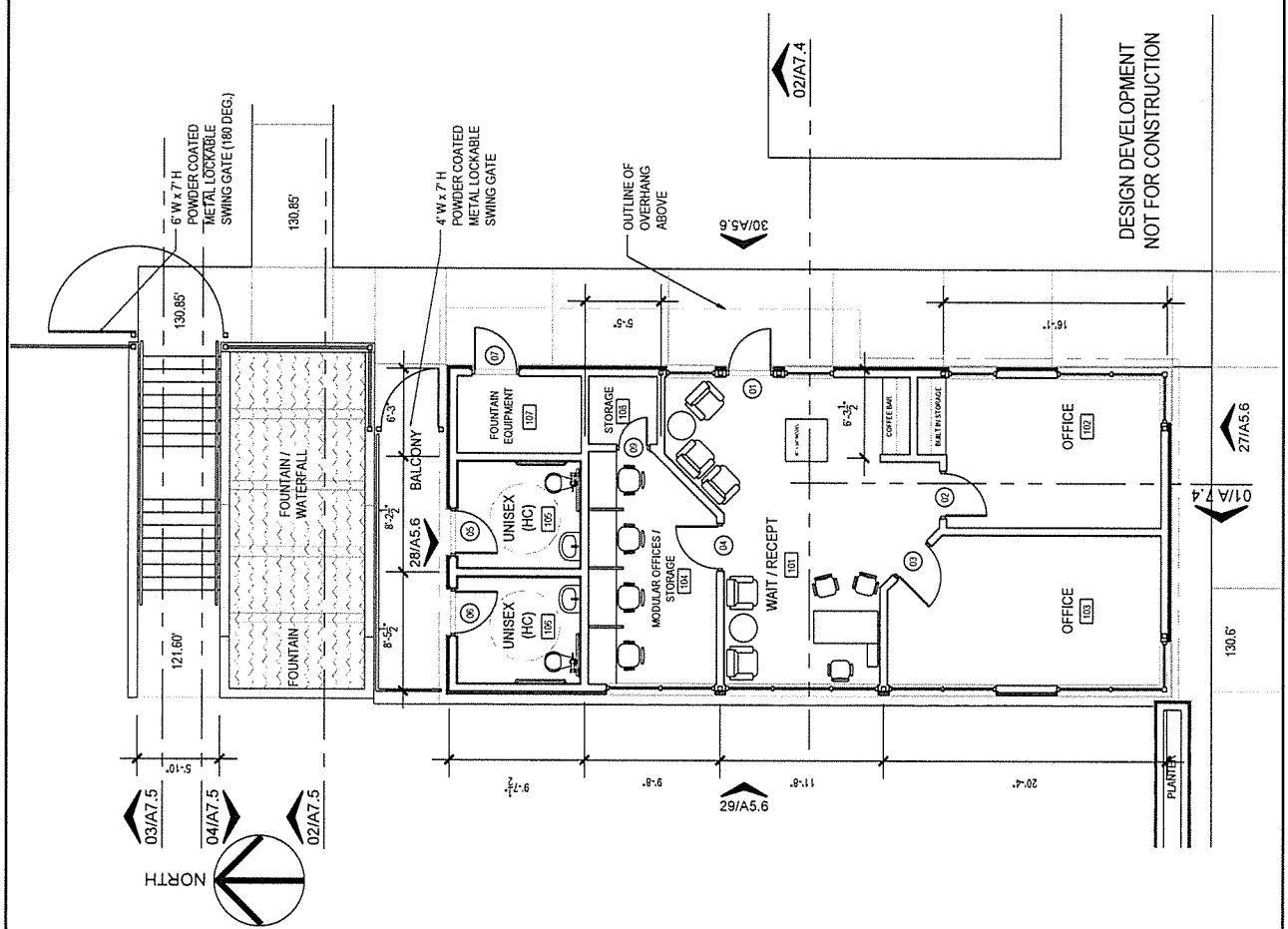
MAINTENANCE BUILDING

DESIGN DEVELOPMENT PHASE
 MEMORIAL GARDENS AT CHRIST CATHEDRAL
 DIOCESE OF ORANGE
 13280 CHAPMAN AVE
 GARDEN GROVE, CALIFORNIA 92840

ARCHITECT
 MINGO & LEV

06.25.2017 DESIGN REVIEW
 01.14.2017 OWNER REVIEW
 09.20.2017 DESIGN REVIEW
 08.22.2017 DESIGN REVIEW
 11.17.2017 REV. SALES BLDG
 10.05.2017 REV. SALES BLDG
 01.20.2018 REV. SALES BLDG
 01.25.2018 REV. SALES BLDG
 01.25.2018 REV. SALES BLDG

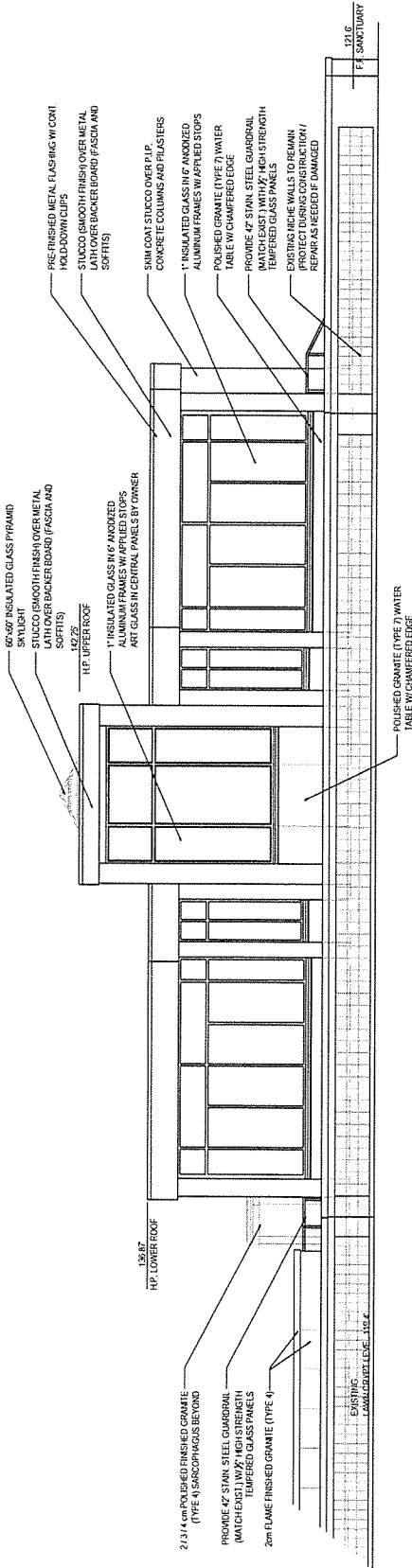
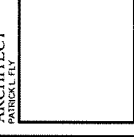
SALES BLDG.
 PLAN
 A4.0



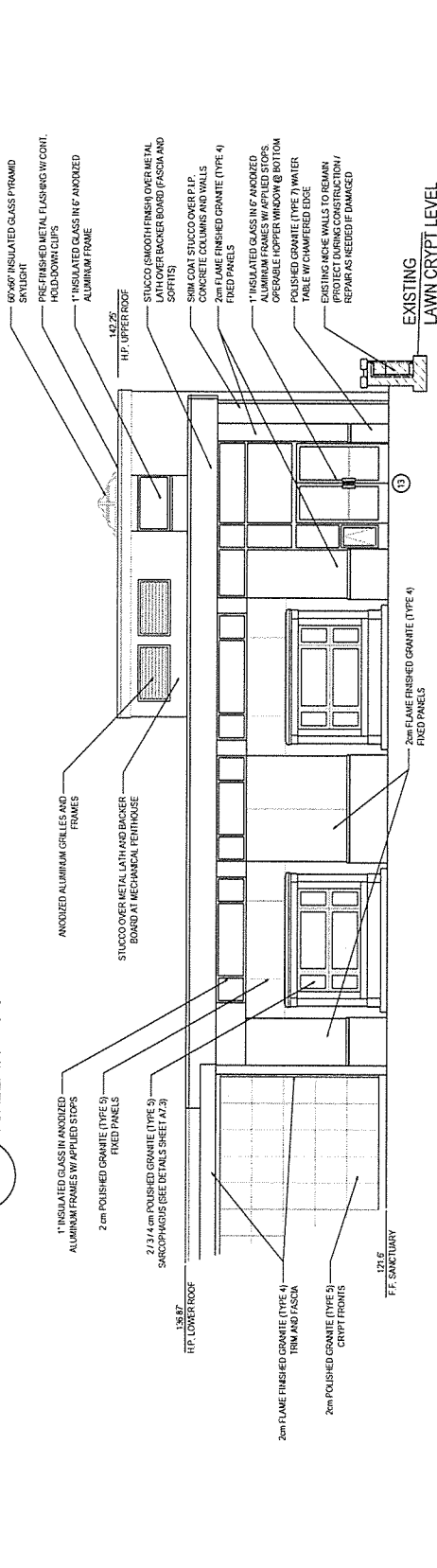
SALES / ADMINISTRATION OFFICE
 01 SCALE: 1/4" = 1'-0"
 FLOOR PLAN



DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION



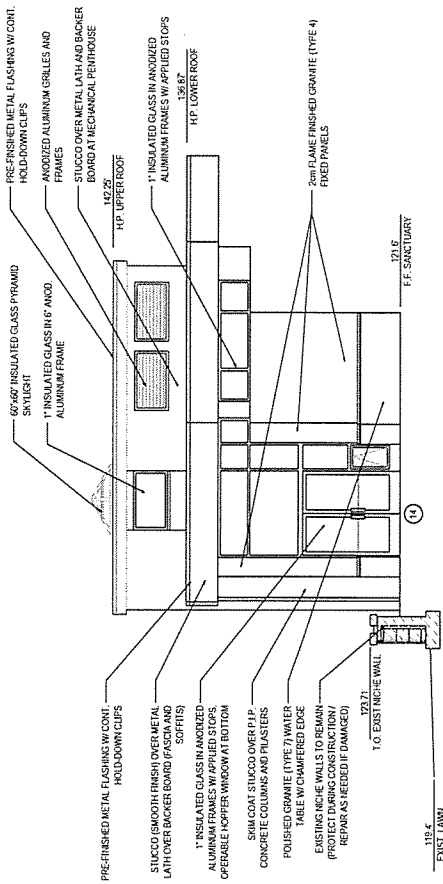
01 EAST ELEVATION
SCALE: 1/4" = 1'-0"



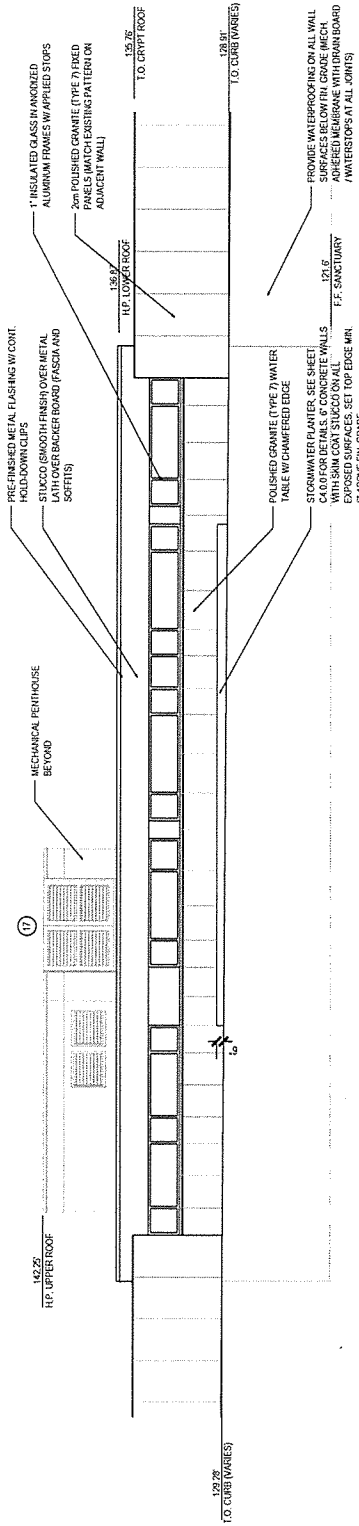
02 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

SANCTUARY



03 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



04 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

DESIGN DEVELOPMENT NOT FOR CONSTRUCTION
SANCTUARY

DESIGN DEVELOPMENT PHASE
 MEMORIAL GARDENS AT CHRIST CATHEDRAL
 DIOCESE OF ORANGE
 13280 CHAPMAN AVE. GARDEN GROVE, CALIFORNIA 92840

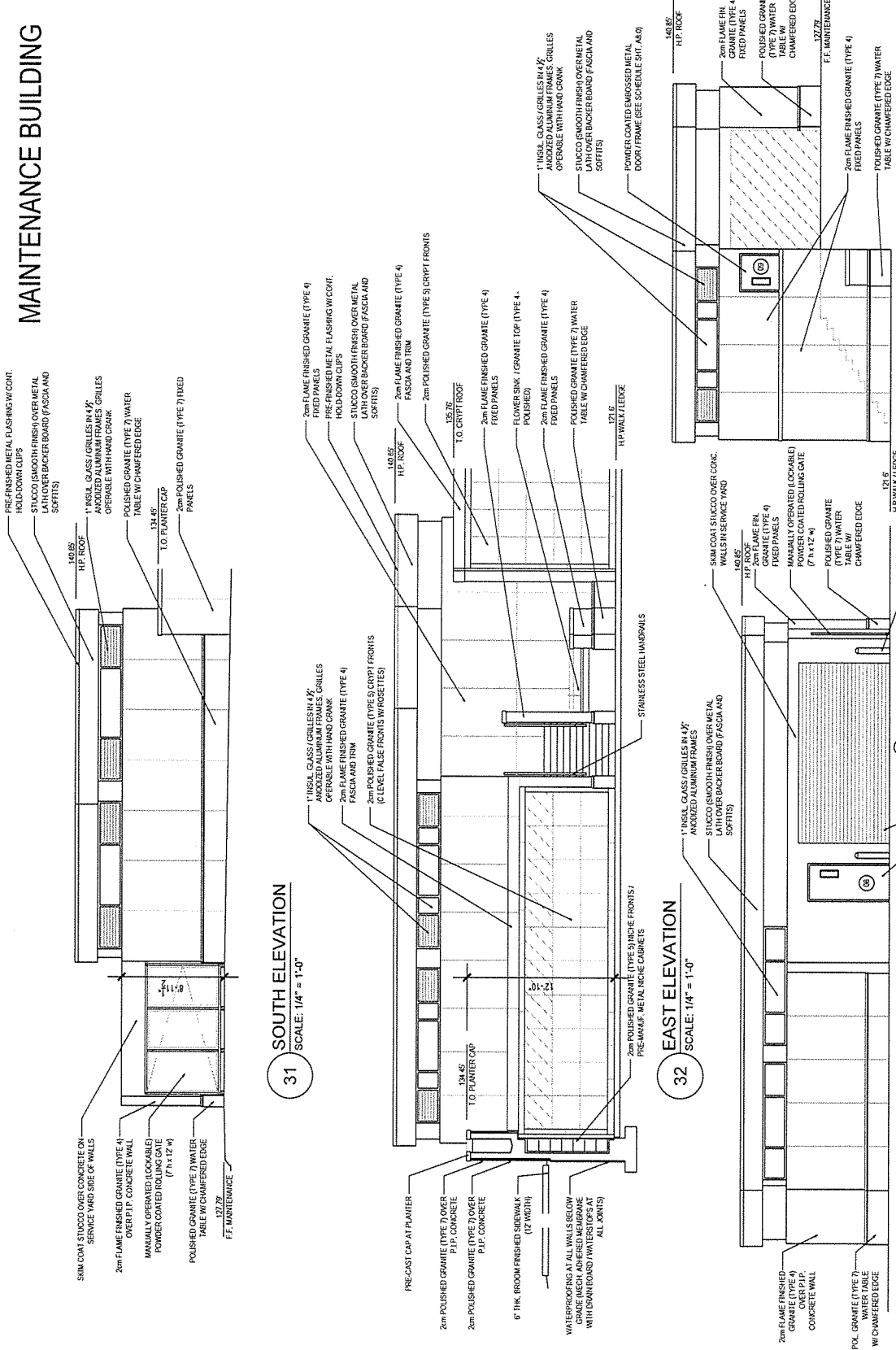
ARCHITECT
 MCF ARCHITECTS, INC.

03.01.2017 OWNER REVIEW
 03.14.2017 OWNER REVIEW
 09.30.2017 DESIGN REV. (REV. 01)
 11.01.2017 DESIGN REV. (REV. 02)
 11.17.2017 REV. SALES BLDG.
 12.06.2017 REV. SALES BLDG.
 01.20.2018 REV. SALES BLDG.
 01.20.2018 PUBLIC CITY REVIEW

Project No. 0520
 01.02.2018
 01.02.2018

MAINTENANCE ELEVATIONS
A6.2

MAINTENANCE BUILDING



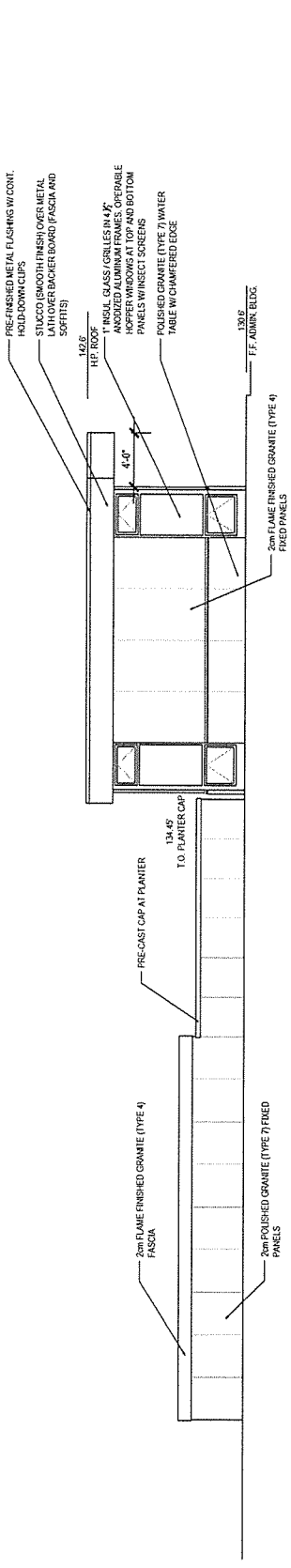
31 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

32 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

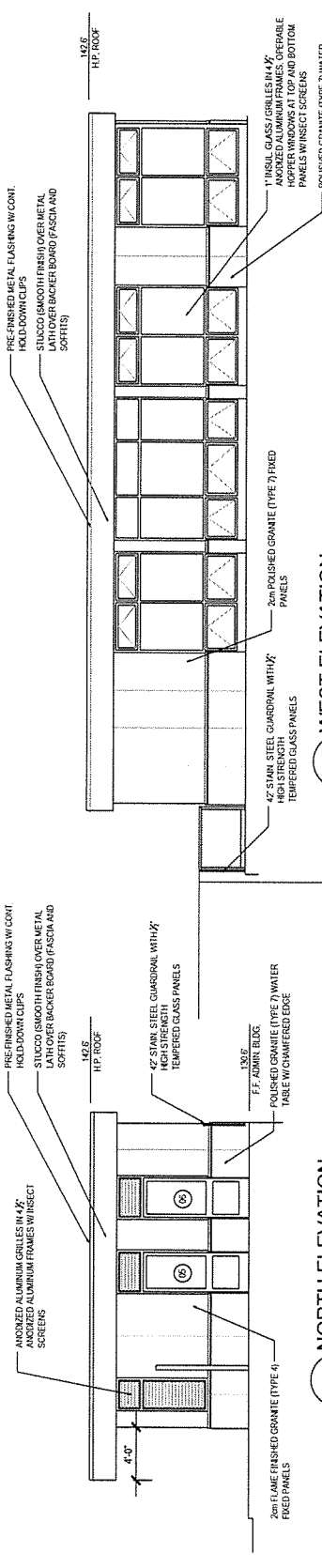
33 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

34 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

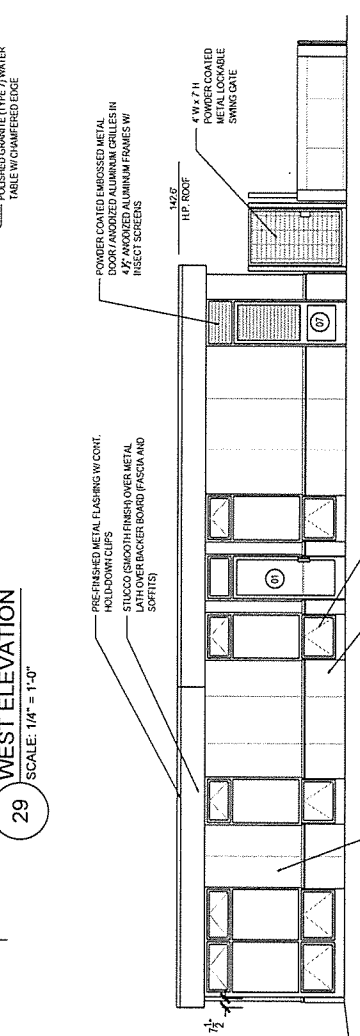
DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION



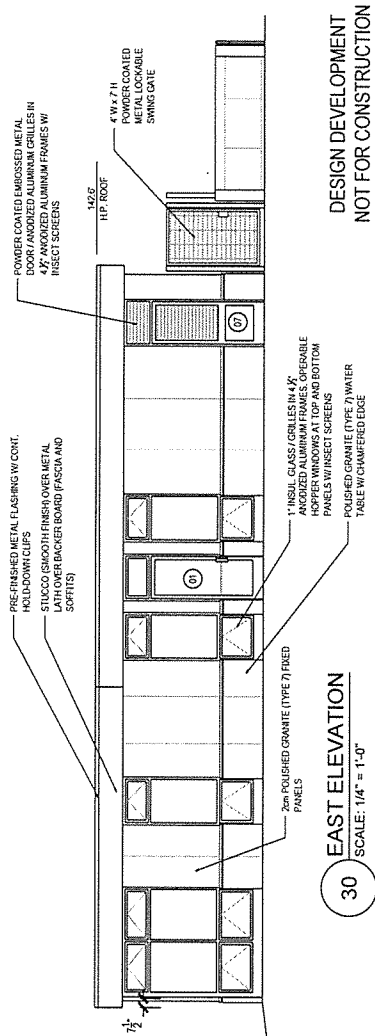
27 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



28 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



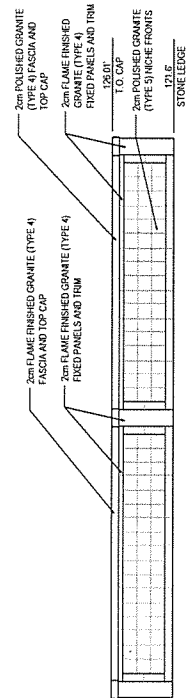
29 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



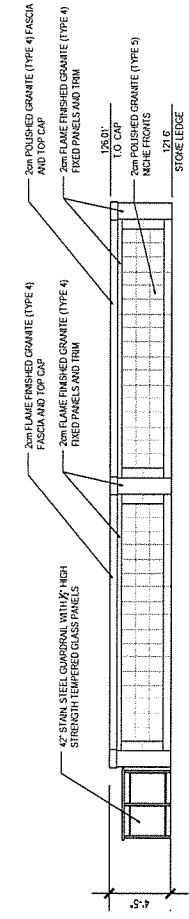
30 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION

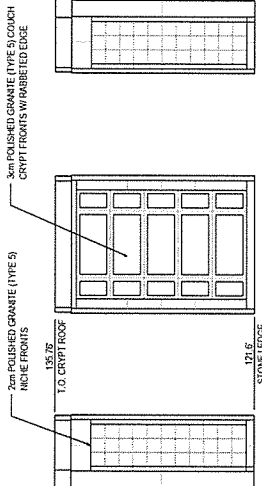
SALES / ADMIN. BUILDING



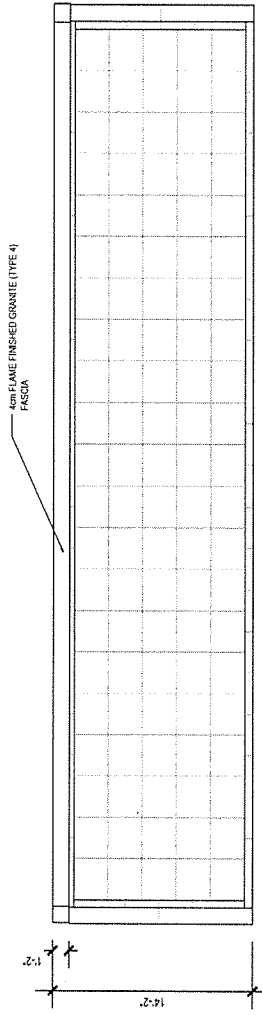
06 WALL ELEVATION
 SCALE: 1/4" = 1'-0"



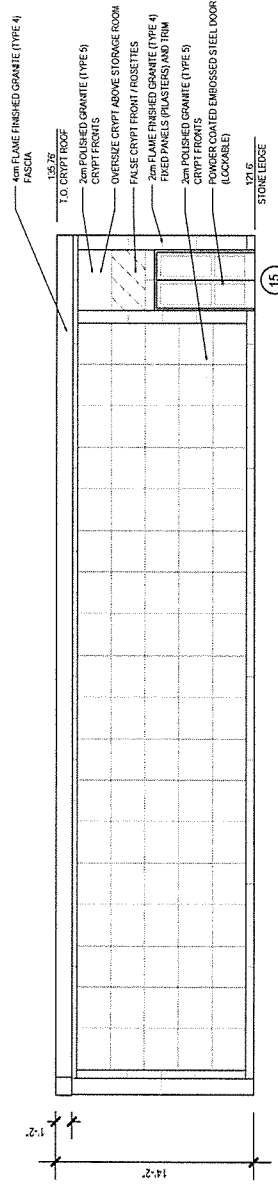
05 WALL ELEVATION
 SCALE: 1/4" = 1'-0"



08 WALL ELEVATION
 SCALE: 1/4" = 1'-0"



07 WALL ELEVATION
 SCALE: 1/4" = 1'-0"



09 WALL ELEVATION
 SCALE: 1/4" = 1'-0"

DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION

NOTES FOR ELEVATIONS ARE TYPICAL AT EACH ELEVATION UNLESS NOTED OTHERWISE

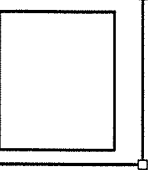
DESIGN
 DEVELOPMENT
 PHASE

MEMORIAL
 GARDENS
 AT
 CHRIST
 CATHEDRAL

DIOCESE OF
 ORANGE

13280 CHAPMAN
 AVE.
 GARDEN GROVE,
 CALIFORNIA
 92840

ARCHITECT
 PARSONS LLP

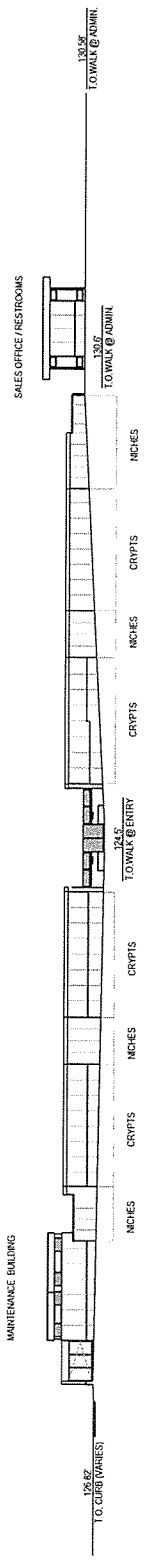


REVISIONS:
 01.14.2017 OWNER REVIEW
 06.30.2017 DESIGN DEV. REVIEW
 09.15.2017 DESIGN DEV. REVIEW
 12.05.2017 REV. SALES BLDG.
 01.10.2018 ADA CIRCULATION PLAN
 02.28.2018 PRELIM. 0111 REVIEW

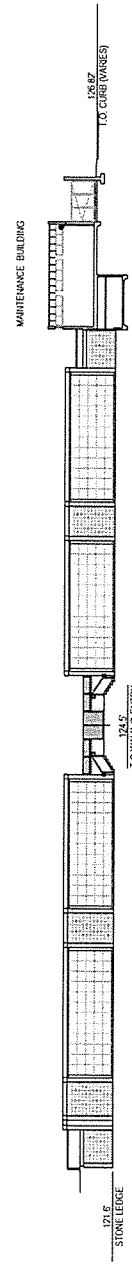
DATE: 03/06/2018
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SCALE: AS SHOWN

SITE
 SECTIONS

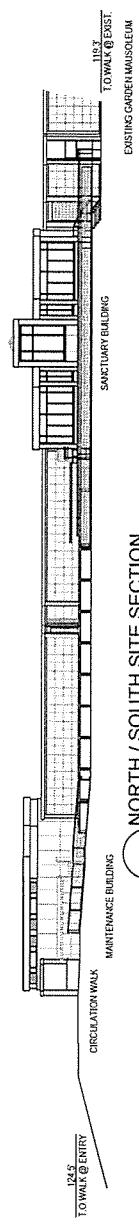
A7.0



01 EAST / WEST SITE SECTION
 SCALE: 1/16" = 1'-0"
 (THROUGH CONNECTOR WALK)



02 EAST / WEST SITE SECTION
 SCALE: 1/16" = 1'-0"
 (THROUGH MEMORIAL GARDEN)



03 NORTH / SOUTH SITE SECTION
 SCALE: 1/16" = 1'-0"
 (THROUGH MEMORIAL GARDEN)

DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION

RESOLUTION NO. 5926-18

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE APPROVING SITE PLAN NO. SP-258-99 (REV. 2018), FOR A PROPERTY LOCATED ON THE SOUTH SIDE OF CHAPMAN AVENUE AND WEST OF LEWIS STREET, AT 13280 CHAPMAN AVENUE, PARCEL NO. 231-022-03.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on July 19, 2018, approves Site Plan No. SP-258-99 (REV. 2018).

BE IT FURTHER RESOLVED in the matter of Site Plan No. SP-258-99 (REV. 2018), the Planning Commission of the City of Garden Grove does hereby determine and report as follows:

1. The subject case was initiated by Michael Wesner, Director of Cemeteries for Cathedral Memorial Gardens (the "Applicant") on behalf of the owner of the subject site, the Roman Catholic Bishop of Orange.
2. The Applicant is requesting to modify the approved plans approved pursuant to Site Plan No. SP-258-99, to complete the Memorial Gardens expansion, located at 13280 Chapman Avenue (APN: 231-022-03), within the allowances of the previously approved cemetery area. The project will include additional interment area and the construction of three (3) new buildings consisting of an administrative office, a cremation niche building, and a maintenance building. The Applicant is also requesting to modify the Conditions of Approval for Site Plan No. SP-258-99 to modify the maximum building and wall height requirement to facilitate the construction of the proposed three (3) new buildings.
3. The proposed project is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to Sections 15303(c) (New Construction or Conversion of Small Structures) and 15304 (Minor Alterations to Land) of the CEQA Guidelines (14 Cal. Code Regs., Sections 15303 and 15304). The proposed project consists of grading, new landscaping, and the construction of three (3) new structures not exceeding 10,000 square feet in floor area in an urbanized area, along with associated accessory improvements.
4. The property has a General Plan Land Use designation of Low Medium Density Residential, and is currently zoned PUD-133-99 (Planned Unit Development).
5. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.
6. Report submitted by City staff was reviewed.

7. Pursuant to a legal notice, a public hearing was held on July 19, 2018, and all interested persons were given an opportunity to be heard.
8. The Planning Commission gave due and careful consideration to the matter during its meeting of July 19, 2018, and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.32.030 are as follows:

FACTS:

The subject, approximately 33-acre site, was previously operated and owned by the Crystal Cathedral Ministries until around 2011. Development of the Crystal Cathedral campus began in 1958. Since that time, the campus underwent several modifications and expansions including: the Arboretum (1961); the Tower of Hope (1968); the Crystal Cathedral Sanctuary (1980); the Memorial Gardens Cemetery (1987); the Family Life Center (1990); and the International Hospitality Center (2000). In 2011, the Diocese of Orange purchased the Crystal Cathedral property and renamed it "Christ Cathedral". The Christ Cathedral campus is currently undergoing several renovations and modifications, which commenced in early 2017. Renovations are anticipated to be complete by mid-2019.

In 1986, the City of Garden Grove approved Planned Unit Development No. PUD-109-72/Revised '85, which permitted the use and development of a cemetery on a maximum 73,700 square foot portion of the existing church site. The cemetery was approved to include interment areas such as lawn crypts, wall crypts, and exterior and interior wall niches. In conjunction with this approval, a focused Environmental Impact Report relating to the cemetery was prepared and approved pursuant to CEQA.

Subsequent to the approval of PUD-109-72/Revised '85, a 32,084 square foot cemetery, Cathedral Memorial Gardens, was constructed, with the remaining 41,616 square feet of approved cemetery area left vacant and reserved for a future expansion of the Memorial Gardens.

In 2000, the City of Garden Grove approved PUD-133-99 and Site Plan No. SP-258-99, which, in part: (i) re-zoned and incorporated 6.46 acres of adjacent properties into the existing 26.5-acre church site, thereby expanding the overall Planned Unit Development to 32.96 acres; (ii) facilitated the construction of the International Hospitality Center; and (iii) addressed the future expansion of the cemetery. In conjunction with this approval, the City adopted a Negative Declaration pursuant to CEQA.

PUD-133-99 repealed and replaced PUD-102-87 in full. Pursuant to PUD-133-99, the cemetery is a permitted use, subject to Site Plan approval. Site Plan No. SP-258-99 includes several conditions of approval relating to the Memorial

Gardens cemetery, including, but not limited to:

- No mortuaries or crematoriums allowed.
- The use of grave markers, as opposed to upright monuments, shall be required.
- Soft pack form of ammunition in order to mitigate noise during military funerals shall be required.
- All urns for cremated remain in the cemetery portion of the site shall be made of unbreakable material.
- Maximum cemetery area shall be 73,700 square feet.
- Maximum building height shall be 7 feet (as measured from grade).
- Maximum wall height (niches) shall be 7 feet (as measured from grade).

Where previously (prior to 2000), the Crystal Cathedral, and more notably, the Memorial Gardens cemetery, was in close proximity to residential uses (as evidenced by the 7-foot building/wall height restrictions), by 2000, the Crystal Cathedral had acquired all of the property that comprises the current campus today, eliminating all residences adjacent to the existing cemetery.

The existing Memorial Gardens cemetery was designed and constructed to feature a sunken (bowl-like) central turfed lawn area (below grade), to minimize exterior visibility and to create a more private and quiet environment for its guests. The central sunken area is surrounded by other elements of the cemetery such as wall crypts, exterior and interior niches, "family estates", walkways, and landscaping. The majority of the existing cemetery is well below grade, while the perimeter of the cemetery is lined with walls and structures that do not exceed seven (7) feet above grade. Additionally, the cemetery itself is surrounded by other existing tall buildings within the campus that further screen visibility to the cemetery.

The applicant has requested to modify the approved plans and the conditions of approval, under Site Plan No. SP-258-99, to complete the Memorial Gardens expansion within the allowances of the previously approved 73,700 square foot cemetery area. The project will include additional interment area and the construction of three (3) new buildings consisting of an administrative office, a cremation niche building, and a maintenance building for the groundskeepers. The administrative office building will be approximately 1,152 square feet in area and be approximately 13.7 feet in height, as measured from grade. The cremation niche building will be approximately 3,308 square feet in area and will range from 7.75 feet to 14.5 feet in height, as measured from grade. The maintenance building will be approximately 1,344 square feet in area and approximately 11.6 feet in height, as measured from grade. To facilitate the project, the applicant is proposing to modify the existing maximum building and wall height in the cemetery under Site Plan No. SP-258-99 from seven (7) to fifteen (15) feet, as measured from grade.

On March 21, 2018, the applicant voluntarily held a public noticed neighborhood meeting at its Pastoral Center to receive input from the community on its proposal.

A total of two (2) persons (husband and wife), Garden Grove residents, attended the neighborhood meeting. The residents live across Chapman Avenue to the northwest of the subject site, north of the existing 4-story (5 levels, with one level below grade) Pastoral Center building. The residents' noted questions included: (i) how the project could impact their property; and (ii) if there would be any impacts from cremations relating to smells. The Christ Cathedral representatives clarified for the residents that: (i) their residence is fully screened by the existing 4-story Pastoral Center building; (ii) that, from their residence, they currently do not have, and would not have, any views to the existing and expanded cemetery; and (iii) that the Memorial Gardens cemetery does not, and will not, have any cremations performed on-site. The residents in attendance did not note any additional questions or concerns.

FINDINGS AND REASONS:

SITE PLAN:

1. The Site Plan is consistent with the General Plan and complies with the spirit and intent of the provisions, conditions and requirements of the Municipal Code and other applicable ordinances.

The Project has a General Plan Land Use Designation of Low Medium Density Residential, and is zoned PUD-133-99 (Planned Unit Development). Cemeteries are permitted uses in the PUD-133-99 zone, subject to Site Plan approval. The Project complies with the land use designation and the zoning requirements for the property. The placements of the structures, the site design, the parking lot layout, the number of on-site parking spaces, and the landscape areas are consistent with the spirit and intent of the requirements of the Municipal Code.

2. The proposed development does not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation and points of vehicular and pedestrian access.

The project has been designed to utilize the existing drive aisle and parking layout that enables customers to maneuver effectively through the Memorial Gardens cemetery and throughout the rest of the Christ Cathedral campus.

Furthermore, the City's Traffic Engineering Division and the Fire Department have also reviewed the plans, and all appropriate conditions of approval will eliminate any adverse impacts to surrounding streets.

3. The development, as proposed, will not adversely affect essential public facilities such as streets and alleys, utilities and drainage channels.

The streets in the area will continue to be adequate to accommodate the development once the developer provides the necessary improvements for

the project. Utilities and drainage channels in the area, if and where necessary, will be made adequate to accommodate the development. The property is not located in a sewer deficiency area. The Public Works Department has incorporated conditions of approval to mitigate potential impacts to the sewer system.

The proposed development will also provide landscaping and proper grading of the site in order to improve drainage in the area. The Public Works Engineering and Water Services Division have reviewed that plans, and all appropriate conditions of approval will eliminate any adverse impacts to the streets and alleys, utilities and drainage channels.

4. The project will not adversely impact the City's ability to perform its required public works functions.

The project has been reviewed by the Public Works Department, which has required various on-site and off-site improvements as conditions of approval. Issues raised by the project have been addressed in the project design and the conditions of approval.

5. The development does have a reasonable degree of physical, functional, and visual compatibility with neighboring uses and desirable neighborhood characteristics.

The project is located in an area with residential and commercial uses. The proposed project is consistent with the surrounding area and compatible with the existing uses on the properties. The design of the proposed development will ensure a reasonable degree of compatibility with adjacent developments.

6. Through the planning and design of buildings and building placement, the provision of open space landscaping and other site amenities will attain an attractive environment for the occupants of the property.

The project has been designed for building appearance, building placement, landscaping, and other amenities to attain an attractive environment. All landscaped areas are required to adhere to the landscaping requirements of the Title 9 of the Municipal Code. Through the conditions of approval for the project, the necessary agreements for the protection and maintenance of all landscaping will be achieved.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN THE STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Site Plan possesses characteristics that would indicate justification of the request in accordance with Municipal Code Section 9.32.030.
2. In order to fulfill the purpose and intent of the Municipal Code, and, thereby, promote the health, safety, and general welfare, the following conditions of approval, attached as "Exhibit A," shall apply to Site Plan No. SP-258-99 (REV. 2018).

(Additions shown in ***bold-italics***. Deletions shown in ~~strikethrough~~)

EXHIBIT "A"

Site Plan No. SP-258-99 (REV. 2018)

13280 Chapman Avenue

REVISED CONDITIONS OF APPROVAL

Condition No. DD, as part of the Conditions of Approval under Site Plan No. SP-258-99, shall be modified as stated herein:

(Additions shown in ***bold-italics***. Deletions shown in ~~strikethrough~~)

DD. The existing cemetery shall be subject to the following conditions:

1. No mortuary preparation room(s) and/or crematoriums shall be allowed on the subject site.
2. The use of grave markers, as opposed to upright monuments shall be required.
3. Permanent arrangements for long-term endowment care shall be submitted to and be subject to approval of the Community Development Department.
4. Soft pack form of ammunition in order to mitigate noise during military funerals shall be required.
5. All urns for cremated remain in the cemetery portion of the site shall be made of an unbreakable material.
6. The construction/expansion of the cemetery shall be designed as such to mitigate the effects of 100-year flood. A subdrain system shall be installed beneath the cemetery.
7. Maximum cemetery area shall be 73,700 square feet.
8. Maximum building height shall be ~~7~~ **15** feet.
9. Maximum wall height (niches) shall be ~~7~~ **15** feet.
10. Cemetery setback along the north side (adjacent to flood channel) shall be 5 feet.

- EE. All Conditions of Approval approved under Site Plan No. SP-258-99, including any conditions modified by the approval of SP-258-99 (REV. 2018), shall continue to be in full force and effect.**
- FF. The following General Conditions of Approval, under SP-258-99 (REV. 2018), which apply to the expansion of the Christ Cathedral Memorial Gardens, shall be complied with:**
- 1. The applicant and each owner of the property shall execute, and the applicant shall record a "Notice of Agreement with Conditions of Approval and Discretionary Permit of Approval," as prepared by the City Attorney's Office, on the property. Proof of such recordation is required within 30 days of this approval. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to each of the following: the project applicant, Michael Wesner (Director of Cemeteries for Cathedral Memorial Gardens), the developer of the project, the owner(s) and tenants(s) of the property, and each of their respective successors and assigns. All conditions of approval are required to be adhered to for the life of the project, regardless of property ownership. Any changes of the Conditions of Approval require approval by the Planning Commission.**
 - 2. Approval of Site Plan No. SP-258-99 (REV. 2018) shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply. Modifications which do not change the intent of the project may be approved by the Community and Economic Development Director.**
 - 3. Minor modifications to the Site Plan and/or these Conditions of Approval may be approved by the Community and Economic Development Director, in his or her discretion. Proposed modifications to the project and/or these Conditions of Approval determined by the Community and Economic Development Director not to be minor in nature shall be subject to approval of new and/or amended land use entitlements by the applicable City hearing body.**
 - 4. The approved site plan, floor plan, and use of the subject property, as represented by the Applicant, are an integral part of the decision approving Site Plan No. SP-258-99 (REV. 2018). If major modifications are made to the**

approved floor plan, site plan, or other related changes that result in the intensification of the project or create impacts that have not been previously addressed, the proper entitlements shall be obtained reflecting such changes.

- 5. All conditions of approval contemplated by the approval of Site Plan No. SP-258-99 (REV. 2018) shall be implemented at the applicant's expense, except where specified in the individual condition.***

GG. The following Conditions of Approval of the Public Works Engineering Division, under SP-258-99 (REV. 2018), which apply to the expansion of the Christ Cathedral Memorial Gardens, shall be complied with:

- 1. The applicant shall be subject to Traffic Mitigation Fees, Drainage Facilities Fees, Water Assessment Fees, and other applicable mitigation fees identified in Chapter 9.44 of the Garden Grove Municipal Code, along with all other applicable fees duly adopted by the City. The amount of said fees shall be calculated based on the City's current fee schedule at the time of permit issuance.***
- 2. All vehicular access drives to the site shall be provided in locations approved by the City of Garden Grove's City Traffic Engineer.***
- 3. A geotechnical study prepared by a registered geotechnical engineer is required. The report shall analyze the liquefaction potential of the site and make recommendations. The report shall analyze sub-surface issues related to the past uses of the site, including sub-surface tanks and basement and septic facilities. Any soil or groundwater contamination shall be remediated prior to the issuance of a building permit in a manner meeting the approval of the City Engineer in concert with the Orange County Health Department. The report shall make recommendations for pavement design of the interior streets and parking spaces. The report shall also test and analyze soil conditions for LID (Low Impact Development) principles and implementations, including potential infiltration alternatives, soil compaction, saturation, permeability and groundwater levels.***
- 4. Grading improvement plans prepared by a registered Civil Engineer are required. The grading plan shall be based on a current survey of the site, including a boundary survey, topography on adjacent properties up to 30' outside the boundary, and designed to preclude cross-lot drainage.***

Minimum grades shall be 0.50% for concrete flow lines and 1.25% for asphalt. The grading plan shall also include water and sewer improvements. The grading plan shall include a coordinated utility plan. Street improvement plan shall conform to all format and design requirements of the City Standard Drawings & Specifications.

- 5. Grading fees shall be calculated based on the current fee schedule at the time of permit issuance.**
- 6. The grading plan shall depict an accessibility route for the ADA pathway in conformance with the requirements of the Department of Justice standards, latest edition.**
- 7. In accordance with the Orange County Storm Water Program manual, the applicant and/or its contractors shall provide dumpsters on-site during construction unless an Encroachment Permit is obtained for placement in street.**
- 8. Prior to the issuance of any grading or building permits or prior to recordation upon subdivision of land if determined applicable by the City Building Official, the applicant shall submit to the City for review and approval a Water Quality Management Plan that:**
 - a. Addresses Site Design BMPs based upon the geotechnical report recommendations and findings such as infiltration minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas.**
 - b. Incorporates the applicable Routine Source Control BMPs as defined in the DAMP.**
 - c. Incorporates structural and Treatment Control BMPs as defined in the DAMP.**
 - d. Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs.**
 - e. Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs.**

- f. The trash shall be located to allow pick-up and maneuvering, including turnarounds, in the area of enclosures.*
 - g. Pursuant to state mandated commercial organic recycling law-AB 1826, the applicant is required to coordinate storage and removal of the organics waste with local recycling/trash company.*
- 11. The applicant and his contractor shall be responsible for protecting all existing horizontal and vertical survey controls, monuments, ties (centerline and corner) and benchmarks located within the limits of the project. If any of the above require removal, relocation, or resetting, the Contractor shall, prior to any construction work, and under the supervision of a California licensed Land Surveyor, establish sufficient temporary ties and benchmarks to enable the points to be reset after completion of construction. Any ties, monuments and bench marks disturbed during construction shall be reset per Orange County Surveyor Standards after construction. Applicant and his contractor shall also re-set the tie monuments where curb or curb ramps are removed and replaced or new ramps are installed. The Applicant and his contractor shall be liable for, at his expense, any resurvey required due to his negligence in protecting existing ties, monuments, benchmarks or any such horizontal and vertical controls.**
- 12. Prior to the issuance of any grading or building permits for projects that will result in soil disturbance of one acre or more of land, the applicant shall demonstrate that coverage has been obtained under California's General Permit for Stormwater Discharges Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number. Projects subject to this requirement shall prepare and implement a Stormwater Pollution Prevention Plan (SWPPP). A copy of the current SWPPP shall be kept at the project site and be available for City review on request.**
- 13. Any new or required block walls and/or retaining walls shall be shown on the grading plans. Cross sections shall show vertical and horizontal relations of improvements and property line. Block walls shall be designed in accordance to**

City standards or designed by a professional registered engineer. In addition, the following shall apply:

- a. The color and material of all proposed block walls, columns, and wrought iron fencing shall be approved by the Planning Services Division Prior to installation.***
 - 14. The applicant shall identify a temporary parking site(s) for construction crew and construction trailers office staff prior to issuance of a grading permit. No construction parking is allowed on local streets.***
 - 15. Prior to issuance of a grading permit, the applicant submit and obtain approval of a worksite traffic control plan, satisfactory to the City Traffic Engineer.***
 - 16. Heavy construction truck traffic and hauling trips should occur outside peak travel periods. Peak travel periods are considered to be from 7 a.m. to 9 a.m. and 4 p.m. to 6 p.m.***
 - 17. Any required lane closures should occur outside of peak travel periods.***
 - 18. Construction vehicles should be parked off traveled roadways in a designated parking.***
 - 19. Prior to issuance of a grading permit, the applicant shall provide a hydrological analysis with scaled map and calculations and hydraulic calculations to size storm drains per the Orange County RDMD standards. Parkway culverts shall be designed per Orange County standard plan 1309, Type B. BMP's shall be sized per the requirements of the latest Technical Guidance Documents.***
- HH. The following Conditions of Approval of the Public Works Water Services Division, under SP-258-99 (REV. 2018), which apply to the expansion of the Christ Cathedral Memorial Gardens, shall be complied with:***
- 1. All on-site water shall be per current California Plumbing Code.***
 - 2. If applicable, a Reduced Pressure Principle Device (RPPD) backflow prevention device shall be installed for meter protection. The landscape system shall also have RPPD device. Installation shall be per City Standards and shall be tested by a certified backflow device tester immediately after***

installation. Cross connection inspector shall be notified for inspection after the installation is completed. Owner shall have RPPD device tested once a year thereafter by a certified backflow device tester and the test results to be submitted to Public Works, Water Services Division. Property owner must open a water account upon installation of RPPD device.

- 3. All on-site sewer shall be per current California Plumbing Code.***

II. The following Conditions of Approval of the Community and Economic Development Department, under SP-258-99 (REV. 2018), which apply to the expansion of the Christ Cathedral Memorial Gardens, shall be complied with:

- 1. No outside display of merchandise shall be permitted at any time.***
- 2. Deliveries to or from the Cathedral Memorial Gardens cemetery may be permitted 24 hours a day. However, in the event any issues are identified, relating to, but not limited to noise issues, which cause a nuisance to surrounding uses, the City may restrict deliveries to or from the Cathedral Memorial Gardens cemetery between the hours of 10:00 p.m. and 8:00 a.m., seven days a week.***
- 3. Litter shall be removed daily from the Cathedral Memorial Gardens cemetery, including adjacent public sidewalks, and from all parking areas under the control of the applicant. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.***
- 4. The applicant/property owner shall abate all graffiti vandalism within the Cathedral Memorial Gardens cemetery. The applicant/property owner shall implement best management practices to prevent and abate graffiti vandalism within the Cathedral Memorial Gardens cemetery throughout the life of the project, including, but not limited to, timely removal of all graffiti, the use of graffiti resistant coatings and surfaces, the installation of vegetation screening of frequent graffiti sites, and the installation of signage, lighting, and/or security cameras, as necessary. Graffiti shall be removed/eliminated by the applicant/property owner as soon as reasonably possible after it is discovered, but not later than 72 hours after discovery.***

- 5. Exterior advertisements displays or exterior wall advertisements shall not be allowed.**

- 6. The applicant shall submit a complete landscape plan governing the expansion areas of the Christ Cathedral Memorial Gardens, under Site Plan No. SP-258-99 (REV. 2018), for review and approval by the Community and Economic Development Department prior to building permit issuance. The landscaping plan shall comply with all the landscaping requirements as specified in Title 9 of the City of Garden Grove Municipal Code, including the City's Water Efficiency Guidelines, as well as recently adopted provisions by the State of California concerning drought tolerant landscape measures. Said plan shall include type, size, location and quality of all plant material. This includes enhanced landscaping for the walkway areas. The plan shall include an irrigation plan, and staking and planting specification. The landscape plan is subject to the following:**
 - a. A complete, permanent, automatic remote control irrigation system shall be provided for all common area landscaping shown on the plan. The sprinklers shall be of low flow/precipitation sprinkler heads for water conservation.**

 - b. All above ground utilities (e.g., water backflow devices, electrical transformers, irrigation equipment, etc.) shall be shown on the landscape plan in order to ensure proper landscape screening and will be provided around each of these equipment/apparatus.**

 - c. The applicant shall be responsible for the installation and maintenance of all landscaping on the property during and after the construction period. Said responsibility shall extend to within the public right-of-way.**

 - d. The plan shall provide a mixture of a minimum of ten percent (10%) of the trees at 48-inch box, ten percent (10%) of the trees at 36-inch box, fifteen percent (15%) of the trees at 24-inch box and sixty percent (60%) of the trees at 15-gallon, the remaining five percent (5%) may be of any size. All proposed trees shall be non-fruit bearing, evergreen trees that require minimal maintenance.**

- 11. A copy of the resolution approving Site Plan No. SP-258-99 (REV. 2018), including these Conditions of Approval, shall be kept on the premises of the Cathedral Memorial Gardens cemetery at all times.**
- 12. Construction plans for the development (relating to the expansion of the Christ Cathedral Memorial Gardens) submitted for building plan check shall address the following items which include, but are not limited to: soils report required; provide occupancy calculations with egress routes for the areas enclosed by a gate; provide accessible route required throughout the proposed area including the maintenance building; provide adequate lighting throughout the proposed area, including stair areas; provide sloping percentage notation for all walkways; ensure restrooms required to meet minimum clearances for accessibility; verify all counters with access to the public meet accessible heights and reach range; provide accessible seating space in the waiting areas; and provide information on the depth of the water in the fountains.**
- 13. Development shall comply with all applicable requirements of the 2016 CBC (California Building Standards Code), CMC (California Mechanical Code), CPC (California Plumbing Code), CEC (California Electrical Code), CGBC (California Green Building Standards Code), and 2016 T-24 (Title 24) Energy Standards.**
- 14. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Site Plan No. SP-258-99 (REV. 2018). The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award, which may issue against the City including, but not limited, to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.**

- 15. Any violations or noncompliance with the conditions of approval may result in the issuance of an Administrative Citation up to \$1,000 pursuant to GGMC 1.22.010(a).**
- 16. It shall be the applicant's responsibility to verify that any building or site improvements do not impermissibly interfere with any recorded easements on the subject property or the adjacent properties.**
- 17. Unless a time extension is granted pursuant to Section 9.32.030.D.9 of Title 9 of the Municipal Code, the improvements authorized by this approval of Site Plan No. SP-258-99 (REV. 2018) shall become null and void if construction of such improvements is not commenced within one (1) year of the expiration of the appeal period and thereafter diligently advanced until completion of the project.**

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.3.	SITE LOCATION: Northwest corner of Orangewood Avenue and Western Avenue, at 7351 and 7421 Orangewood Avenue
HEARING DATE: July 19, 2018	GENERAL PLAN: Industrial
CASE NO.: Site Plan No. SP-054-2018 Lot Line Adjustment No. LLA-015-2018	ZONE: Planned Unit Development No. PUD-103-76 (Rev. 92)
APPLICANT: House Foods Holding USA, Inc., Corporation	CEQA DETERMINATION: Mitigated Negative Declaration
PROPERTY OWNER(S): Same as applicant	APN: 131-021-38 and 39

REQUEST:

The applicant is requesting Site Plan approval for a 36,763 square foot single-story addition between two existing industrial buildings to expand an existing food manufacturing business, in conjunction with a request for Lot Line Adjustment approval to consolidate a 5.2-acre property (Parcel 1), with an adjacent 5-acre property (Parcel 2), the current location of House Foods, for a combined acreage of approximately 10.3 acres. Each property is currently developed with two-story industrial buildings, 81,613 square feet (Building 1) and 125,040 square feet (Building 2), respectively.

BACKGROUND:

In 1976, approximately 212 acres of agricultural land were rezoned PUD-103-76 (Planned Unit Development) from M-P (Industrial Park) and OS (Open Space), to allow the development of lots ranging from .75 to 5 acres for uses consisting of primarily industrial-commercial, multi-tenant industrial, and general light industrial. The properties zoned PUD-103-76 are located on the east side of Knott Street, west of Western Avenue, south of Katella Avenue, and north of Chapman Avenue.

The two subject properties, which were developed in 1981, are located within the area zoned PUD-103-76, on the northwest corner of Orangewood Avenue and Western Avenue, and have a General Plan Land Use designation of Industrial. The properties to the north, west, and south, across Orangewood Avenue, are also zoned PUD-103-76. The properties to the east, across Western Avenue, are located in the City of Stanton, and are developed with industrial and commercial uses.

Each property is currently developed with a two-story industrial building. Parcel 1, a 5.284-acre property located on the east of the site, is developed with 81,613 square

foot building (Building 1). Southland Industries, an MEP building systems company, has occupied the building since 2008. Parcel 2, a 5.089-acre property located on the west of the site, is developed with a 125,040 square foot building (Building 2), the current location of House Foods. The applicant and property owner, House Foods, has occupied the building since 1997 for the manufacturing of food products, primarily tofu. House Foods acquired Parcel 1 in July 2017 to allow the expansion of its operation and increase the production of the food manufacturing business in Building 2.

Parcel 1 is currently accessed by a driveway on Orangewood Avenue and two (2) driveways on Western Avenue. Existing access to Parcel 2 is provided via two (2) driveways on Orangewood Avenue. The parcels are currently separated by a vegetated wall and a chain-link fence that runs in a north-south direction along the property line separating the two properties. Both buildings have existing loading docks located at the rear of the buildings along the northern facades. Building 2 has a second loading dock area located toward the front of the building. Each property also has existing trash enclosures located at the rear, on the north side of the properties.

Building 1 and Building 2 will not be undergoing any interior improvements as part of the request. The first floor of Building 1 includes offices, training rooms, conference rooms, two (2) men's and two (2) women's bathrooms, and warehousing space. The existing metal shop areas, used by the previous tenant, will be used as additional warehousing space by House Foods. The second story consists of offices, a breakroom, a conference room, a telephone and data room, an open office area, and two (2) men's and two (2) women's bathrooms. The first floor of Building 2 includes product refrigeration storage areas, packaging rooms, material warehousing space, office areas, soybean treatment and soaking rooms, and a shipping and receiving area. The second floor includes offices, conference rooms, a break room, men's and women's bathrooms, warehousing space, and observation balconies.

DISCUSSION:

The applicant proposes the expansion of the existing House Foods food manufacturing operation, currently located in Building 2, to include Building 1, and to construct an addition to connect the two existing buildings. To allow the expansion, the applicant is requesting Lot Line Adjustment approval to consolidate Parcel 2, the current location of House Foods, with the adjacent property, Parcel 1, for a combined acreage of approximately 10.3 acres. The existing and proposed parcel breakdown is as follows:

Parcel Areas

	Lot Area
Parcel 1	230,177 S.F. (5.284 Acres)
Parcel 2	221,656 S.F. (5.089 Acres)
Combined Total	451, 833 S.F. (10.373 Acres)

Each property is currently developed with two-story industrial buildings, referred to as Building 1 and Building 2. The applicant is proposing a one-story expansion area of approximately 36,763 square feet to connect the two existing buildings for a total building area of 210,053 square feet. The breakdown of the existing and proposed building areas is as follows:

Building Areas

	First Floor	Second Floor	Total Building Area
Building 1	70,869 S.F.	10,744 S.F.	81,613 S.F.
Building 2	102,421 S.F.	22,619 S.F.	125,040 S.F.
Proposed Addition	36,763 S.F.	N/A	36,763 S.F.
Proposed Total	210,053 S.F.	33,363 S.F.	243,416 S.F.

SITE PLAN:

Site Design, Circulation & Floor Plan:

Existing access to the subject site is provided by three (3) driveways on Orangewood Avenue and two (2) driveways on Western Avenue. The project proposes to permanently vacate the easternmost driveway along Orangewood Avenue, and the southernmost driveway along Western Avenue, which are both currently located on Parcel 1. The central driveway, located along Orangewood Avenue, is proposed to remain to serve as the main entrance to the site for vehicles entering and exiting the site. The driveway located on the southwest corner of the site, along Orangewood Avenue, and a driveway located on Western Avenue will provide access to the site for trucks and employees. The westernmost driveway off of Orangewood Avenue, will be an "entrance only" driveway and will lead to an internal drive aisle along the western and northern boundaries of the site. The internal drive aisle connects to the "exit only" driveway off Western Avenue. Restricting entrance- and exit-only driveways will minimize vehicular conflicts between trucks and passenger vehicles on the site and provide improved connectivity for trucks moving across the site.

The project proposes to retain the existing chain-link fence along the northern property line. The applicant proposes to install a 7-foot high fence that will traverse the subject site in a north-south direction and will extend from the northern property line of the site to the north elevation of Building 1. The fence will be approximately 140 feet in length and includes an automatic 35-foot sliding gate that will allow

employee access to the northern portion of the site. The fence and automatic gate will match the existing fencing along the northern boundary of the site, including matching slats, as required by the PUD.

The existing trash enclosure area located at the exterior of the northwest corner of Building 2 will remain in place. The existing trash enclosure located in Parcel 1 will be demolished to allow for the expansion.

The proposed one-story 36,763 square foot expansion area connecting the existing buildings will be utilized as additional manufacturing area. The addition will include a cooler storage area, a mechanical equipment room, a staging area, and a casing room in the northern area of the expansion, as well as a soaking room, a room dedicated to making okara (soy pulp), and a blower room in the southern area of the addition. The southern portion of the addition will also include a vestibule connecting the central area of the addition to the building entrance. Proposed wall and door openings will connect the addition to the existing buildings. Additionally, the project proposes a loading dock area located at the rear of the building addition near the north side of the site. The existing loading areas will remain in place.

PUD-103-76 states that structures may not cover more than 50 percent of the net lot area. With the addition, the overall building footprint will be 210,053 square feet. By combining the parcels, for a combined area of 451,833 square feet, (10.373 Acres), the overall lot coverage will be 46.5%, which is under the 50% lot coverage limitation of the PUD. The existing and proposed lot coverage breakdown is as follows:

Lot Coverage

	Building Footprint (First Floor)	Lot Size	Lot Coverage
Parcel 1	70,869 S.F.	230,177 S.F. (5.284 Acres)	30.7%
Parcel 2	102,421 S.F.	221,656 S.F. (5.089 Acres)	46.2%
Proposed Addition	36,763 S.F.		
Proposed Total	210,053 S.F.	451, 833 S.F. (10.373 Acres)	46.5%

Building Design:

The proposed addition is one-story, approximately 34 to 35 feet in height, which matches the height of the existing buildings. The addition will match the existing contemporary and modern architectural style, and the exterior stucco finishes and color of the existing buildings.

Landscaping:

The proposed project will retain the existing landscaping, including trees and planters in the setback and parking areas, on the western portion of Parcel 2. All landscaping planters and trees along the current property line between the existing buildings will be removed to accommodate the addition.

Landscaping improvements on Parcel 1 include (1) the reconfiguration of planters in the parking areas along the northern property line to provide for truck turnaround and backup, (2) the removal of a portion of the landscaping on the east side of the site to allow for additional on-site parking, (3) the replacement of approximately 30 feet of landscaping along the eastern portion of the site with new landscaping, which meets the 18-foot minimum required landscaping street setback, as required by the PUD, (4) the installation of additional trees on the north and east side of the parcel, and in the proposed parking planters, and (5) the installation of a bio-retention basin near the site entrance along Orangewood Avenue.

The PUD requires one (1) tree per every five (5) parking stalls. As a result of the parking reconfiguration, there will be a total of 355 parking stalls. Therefore, the development requires no less than 71 trees. The proposed project will replant trees as needed to meet the requirement in Parcel 1, which will be consistent with the landscaping requirements of the PUD.

Parking:

As required by PUD-103-76, office uses are to be parked at one (1) parking space per each 250 square feet of gross floor area, and manufacturing uses are to be parked at two (2) parking spaces for each 1,000 square feet of gross floor area. Warehousing uses are to be parked as follows: one (1) parking space for each 1,000 square feet of gross floor area for the first 20,000 square feet; one (1) parking space for each 2,000 square feet for the second 20,000 square feet; and one (1) parking space for each 4,000 square feet of gross floor area for the areas in excess of the initial 40,000 square feet of floor area of the building.

The proposed project will be comprised of 33,346 square feet of offices, 82,148 square feet of manufacturing areas, which includes the addition between the existing buildings, and 127,922 square feet of warehousing space. The project is required to provide 134 parking spaces for office, 165 parking spaces for manufacturing, and 52 parking spaces for warehousing areas, for a total of 351 parking spaces. The project proposes 355 parking stalls in total, surpassing the total parking requirement of 351 parking stalls. Therefore, the proposed project satisfies the parking requirement and is consistent with the PUD, as shown in the table below.

Parking

	Area	Parking Requirement	Spaces Required	Spaces Provided
Office	33,346 S.F.	1 space/250 S.F.	134	355
Manufacturing	82,148 S.F.	2 spaces/1,000 S.F.	165	
Warehousing	127,922 S.F.	1 space/1,000 S.F.	20	
		1 space/2,000 S.F.	10	
		1 space/4,000 S.F.	22	
Total	243,416 S.F.		351	

The proposed addition between the existing buildings is located in areas that are currently being used for parking by the properties. Therefore, to satisfy the parking required to accommodate the existing buildings and the addition, the project proposes the reconfiguration of parking along the southern and northern areas of Site A, as well as the addition of employee parking along the east side of Parcel 1. The parking areas in Parcel 2 will remain unchanged, with the exception of the parking on the east side of the property, which will be replaced by the one-story addition.

LOT LINE ADJUSTMENT:

In order to facilitate the construction of the proposed 36,763 square foot addition between the two existing industrial buildings, the applicant is required to receive approval of a Lot Line Adjustment in order to eliminate the existing lot line to consolidate the two properties into one parcel. Exhibit "A" and Exhibit "B" identify Parcel 1 as the lot that House Foods will expand into, and Parcel 2 as the current location of House Foods.

The legal description provided for the project identifies that Parcel 1 and Parcel 2 will be merged to create one parcel as identified in Exhibit "A". Exhibit "B" identifies the subject parcels, and shows the current lot configuration and the lot line that will be removed. Currently, Parcel 1 has a lot size of 230,177 square feet, while Parcel 2 has a lot size of 221,656 square feet. The combined lot area will be 451,833 square feet. Exhibit "B" identifies the placement of the proposed addition in relation to the property line that will be removed. Without approval of the Lot Line Adjustment, the proposed development cannot be constructed as the addition will be built over an existing property line, which is not permitted by the Building Code.

Approval of the Lot Line Adjustment will allow the addition between the two existing industrial buildings to expand the manufacturing area of the food manufacturing area. Staff has reviewed the proposal and is recommending approval of the Lot Line Adjustment.

ENVIRONMENTAL CONSIDERATION


The proposed project was reviewed and an initial study was prepared pursuant to the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq. and the CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 et seq.). Based on the Initial Study and supporting technical analyses, it was determined that all potentially adverse environmental impacts can be mitigated to a level of less than significant. On this basis, a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program have been prepared. Copies of the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program are attached to this report along with a CD that contains a complete digital version of the environmental document with the corresponding technical studies.

The 20-day public comment period on the Mitigated Negative Declaration occurred from June 22, 2018 to July 12, 2018.

RECOMMENDATION:

Staff recommends that the Planning Commission take the following action:

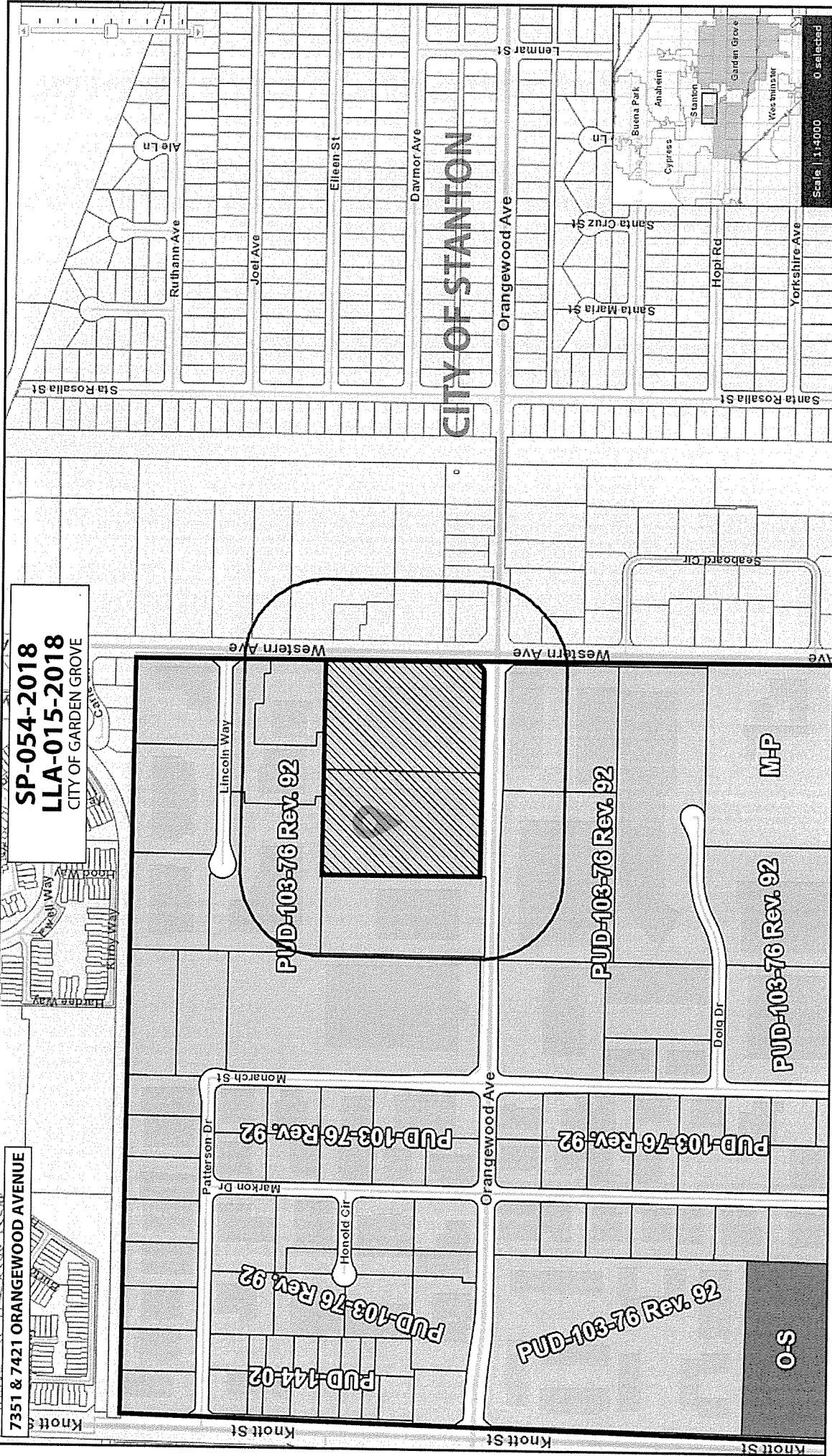
1. Adopt Resolution No. 5927-18 approving Site Plan No. SP-054-2018 and Lot Line Adjustment No. LLA-015-2018 subject to the recommended conditions of approval, and subject to the adoption of a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for the Project.



LEE MARINO
Planning Services Manager



By: Mary Medrano
Associate Planner



SP-054-2018
LLA-015-2018
CITY OF GARDEN GROVE

7351 & 7421 ORANGEWOOD AVENUE

CITY OF STANTON

PUD-103-76 Rev. 92

PUD-103-76 Rev. 92

PUD-103-76 Rev. 92

M-P

PUD-103-76 Rev. 92

PUD-103-76 Rev. 92

PUD-103-76 Rev. 92

PUD-103-76 Rev. 92

O-S

Scale | 1:4000
0 Selected

HOUSE FOODS GARDEN GROVE EXPANSION & RENOVATION

7351 ORANGEWOOD AVENUE, CALIFORNIA 92841

SITE PLAN REVIEW
MARCH 21, 2018

DATE: 03/21/18
BY: R. S. H. / S. H. H. / S. H. H. / S. H. H.

SHEET INDEX

NO.	TITLE SHEET
001	PRELIMINARY CHANGING PLAN
002	PROPOSED CONSTRUCTION PLAN
003	PROPOSED CONSTRUCTION PLAN
004	PROPOSED CONSTRUCTION PLAN
005	PROPOSED CONSTRUCTION PLAN
006	PROPOSED CONSTRUCTION PLAN
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PROJECT DATA

NO.	DESCRIPTION
001	PROJECT NAME: HOUSE FOODS GARDEN GROVE EXPANSION & RENOVATION
002	PROJECT ADDRESS: 7351 ORANGEWOOD AVENUE, GARDEN GROVE, CA 92841
003	PROJECT AREA: 1.25 ACRES (TOTAL DEVELOPABLE AREA)
004	PROJECT ZONING: M-1 (MEDIUM DENSITY RESIDENTIAL)
005	PROJECT OWNER: HOUSE FOODS GARDEN GROVE, INC.
006	PROJECT ARCHITECT: ASPHIC TRUJANO ASSOCIATES, INC.
007	PROJECT ENGINEER: ME ENGINEERS
008	PROJECT CONTRACTOR: BRIGHTVIEW
009	PROJECT START DATE: 03/21/18
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LEGENDS

NO.	DESCRIPTION
001	NEW STRUCTURAL GRID
002	EXISTING STRUCTURAL GRID
003	COVERLINE
004	EXTERNAL ELEVATION REFERENCE
005	BUILDING SECTION REFERENCE
006	INTERIOR PARTIAL ELEVATION REFERENCE
007	DETAIL REFERENCE
008	REFER TO WINDOW SCHEDULE
009	REFER TO WINDOW SCHEDULE
010	PAINT TYPES
011	CLEARANCE HEIGHT
012	KEYNOTES
013	PERSON REFERENCE

PROJECT DIRECTORY

NO.	DESCRIPTION
001	OWNER: HOUSE FOODS GARDEN GROVE, INC.
002	ARCHITECT: ASPHIC TRUJANO ASSOCIATES, INC.
003	ENGINEER: ME ENGINEERS
004	CONTRACTOR: BRIGHTVIEW
005	GENERAL CONTRACTOR: BRIGHTVIEW
006	MECHANICAL CONTRACTOR: BRIGHTVIEW
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099	ELECTRICAL CONSULTANT: BRIGHTVIEW
100	PLUMBING CONSULTANT: BRIGHTVIEW

ABBREVIATIONS

NO.	DESCRIPTION
001	AC: AIR CONDITIONING
002	AD: APPROVED
003	AG: APPROVED
004	AL: APPROVED
005	AN: APPROVED
006	AO: APPROVED
007	AP: APPROVED
008	AR: APPROVED
009	AS: APPROVED
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030	BO: APPROVED
031	BP: APPROVED
032	BQ: APPROVED
033	BR: APPROVED
034	BS: APPROVED
035	BT: APPROVED
036	BV: APPROVED
037	BW: APPROVED
038	BX: APPROVED
039	BY: APPROVED

282011 STREET, SUITE 100, LOS ANGELES, CA 90047
 TEL: 310.440.1100
 FAX: 310.440.1101
 WWW.KAJIMA-USA.COM

KAJIMA ASSOCIATES, INC.
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 FAX: 310.440.1101
 WWW.MEENGINEERS.COM

BRIGHTVIEW
 1400 S. GARDEN AVENUE, SUITE 100, LOS ANGELES, CA 90047
 TEL: 310.440.1100
 FAX: 310.440.1101
 WWW.BRIGHTVIEW.COM

DATE: 08.29.14
REVISION: 01
BY: JET/STW/STW

PROJECT:

House Foods Garden Grove Expansion & Renovation
 7351 Chagrinwood Avenue
 Garden Grove, California 92641

PROJECT NO.:

DATE:

SCALE:

PROJECT NO.:

DATE:

SCALE:

PROJECT NO.:

DATE:

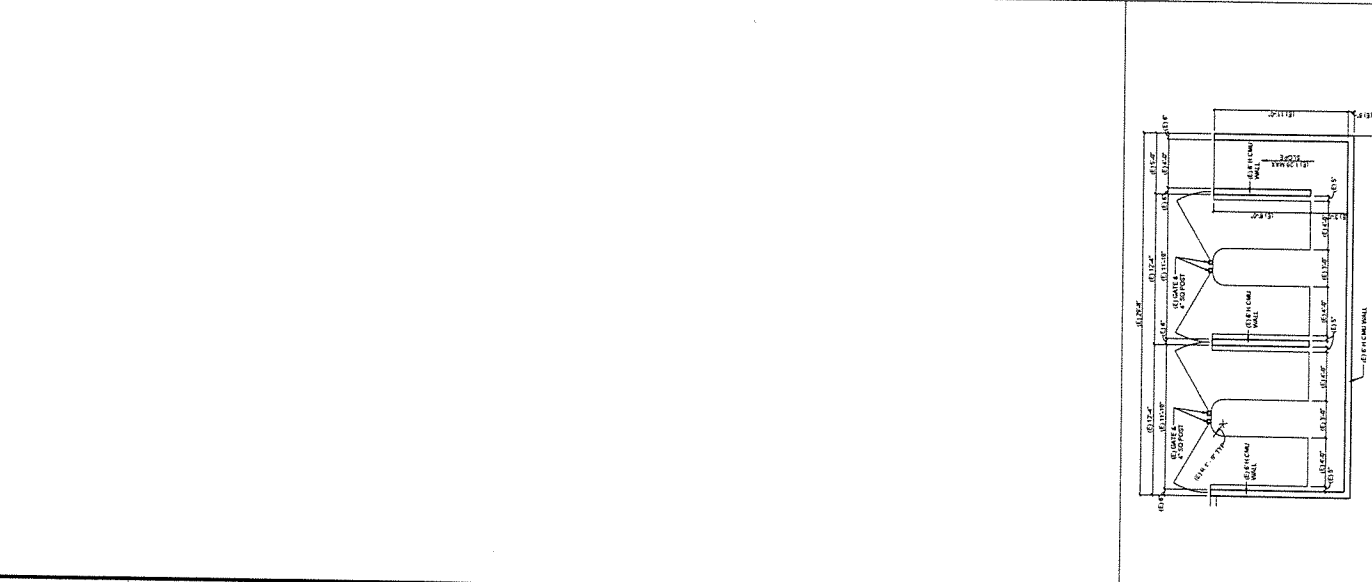
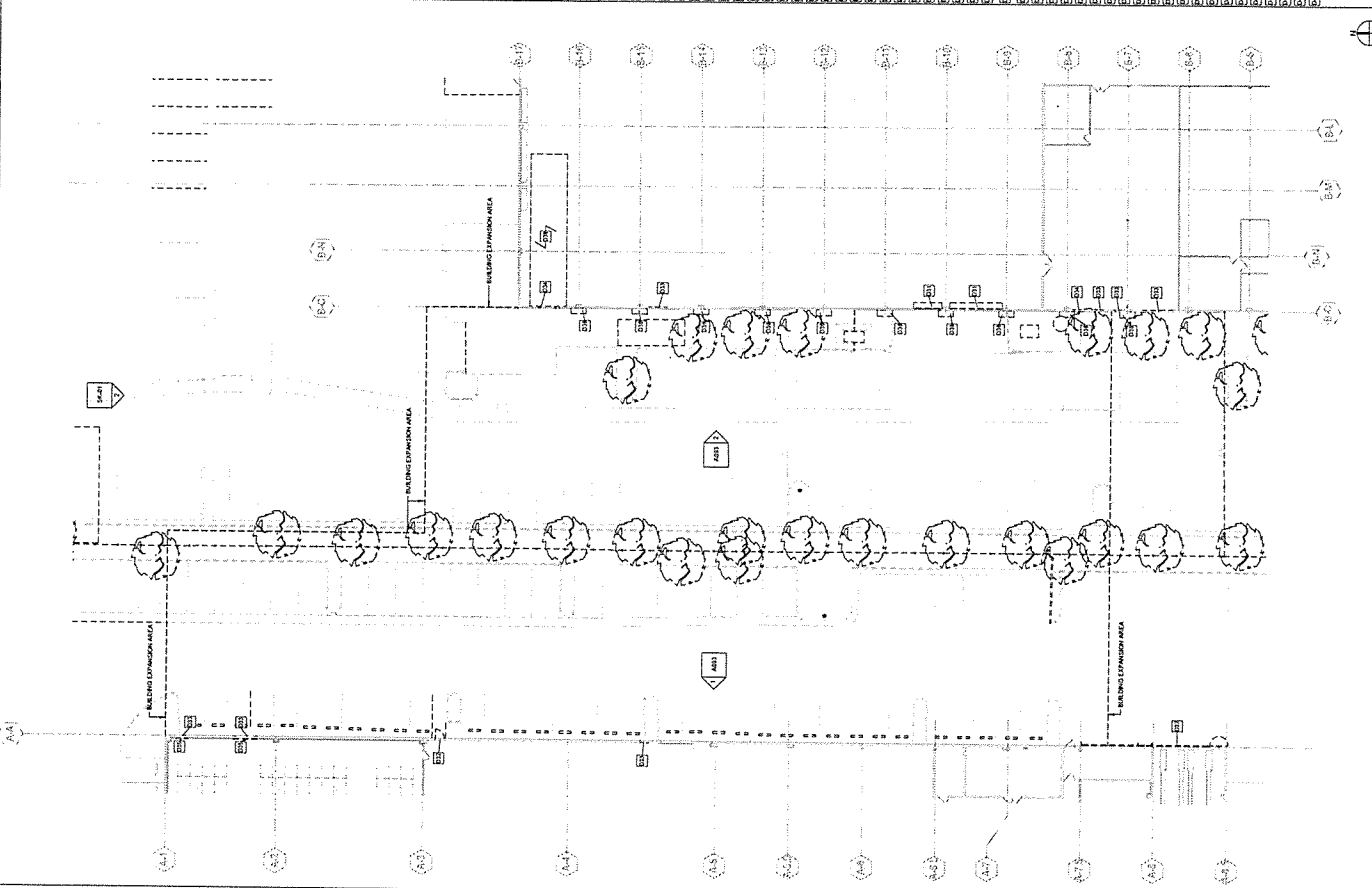
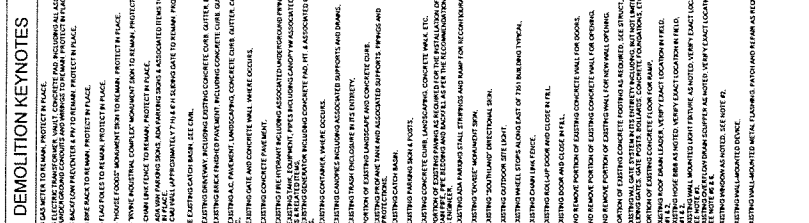
DEMOLITION PLAN NOTES

1. SEE A011 FOR SITE DEMOLITION

- LEGEND**
- REMOVE EXISTING TREE
 - EXISTENCE TO REMAIN - SEE LANDSCAPE PLAN
 - EXISTING LANDSCAPE RENOVATION SYSTEM TO REMAIN (SEE NOTES ABOVE)

DEMOLITION KEYNOTES

1. REMOVE EXISTING CONCRETE WALLS TO REMAIN. PROTECT IN PLACE.
2. REMOVE EXISTING CONCRETE WALLS TO REMAIN. PROTECT IN PLACE.
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2015 CHERRYWOOD AVENUE
GARDEN GROVE, CALIFORNIA 92641
TEL: 714.261.1111
WWW.KAJIMA.COM

KAJIMA ASSOCIATES, INC.
2015 CHERRYWOOD AVENUE
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JOSEPH C. TRILAWI AND ASSOCIATES, INC.
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TEL: 714.261.1111
WWW.MEENGINEERS.COM

BRIGHTVIEW
2015 CHERRYWOOD AVENUE
GARDEN GROVE, CALIFORNIA 92641
TEL: 714.261.1111
WWW.BRIGHTVIEW.COM

House Foods Garden & Grove Expansion & Renovation
2015 Cherrywood Avenue
Garden Grove, California 92641

EXTERIOR WALL - DEMOLITION ELEVATIONS

PROJECT	HOUSE FOODS GARDEN & GROVE EXPANSION & RENOVATION
DATE	08.11.14
BY	ME ENGINEERS
CHECKED	ME ENGINEERS
SCALE	AS SHOWN

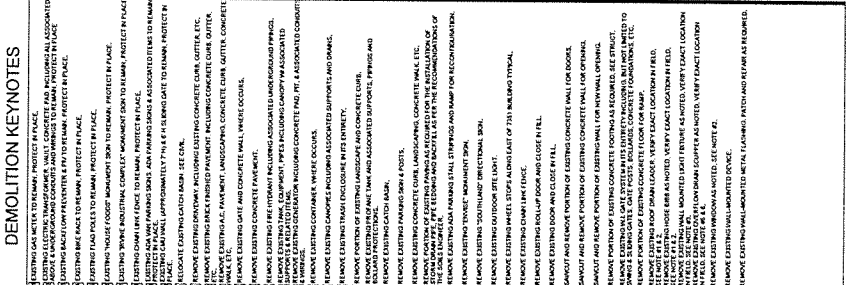
A093
NOT FOR CONSTRUCTION

DEMOLITION ELEVATION NOTES

1. DEMOLISH EXISTING CONCRETE WALLS, INTERIORS, ELECTRIC CONDUITS ON THE INTERIORS TO EXPOSE EXISTING WALLS TO BE DEMOLISHED.
2. DEMOLISH EXISTING CONCRETE WALLS, INTERIORS, ELECTRIC CONDUITS ON THE INTERIORS TO EXPOSE EXISTING WALLS TO BE DEMOLISHED.
3. DEMOLISH EXISTING CONCRETE WALLS, INTERIORS, ELECTRIC CONDUITS ON THE INTERIORS TO EXPOSE EXISTING WALLS TO BE DEMOLISHED.
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10. DEMOLISH EXISTING CONCRETE WALLS, INTERIORS, ELECTRIC CONDUITS ON THE INTERIORS TO EXPOSE EXISTING WALLS TO BE DEMOLISHED.

DEMOLITION KEYNOTES

1. DEMOLISH EXISTING CONCRETE WALLS, INTERIORS, ELECTRIC CONDUITS ON THE INTERIORS TO EXPOSE EXISTING WALLS TO BE DEMOLISHED.
2. DEMOLISH EXISTING CONCRETE WALLS, INTERIORS, ELECTRIC CONDUITS ON THE INTERIORS TO EXPOSE EXISTING WALLS TO BE DEMOLISHED.
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KAJIMA ASSOCIATES, INC.
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AGRIUM ASSOCIATES, INC.
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BUSHHEA TISAL INCORPORATED
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ME ENGINEERS
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BRIGHTVIEW
 2024/01/15 9:16:48 PM

DATE: 01/15/24
PROJECT: HOUSE FOODS GARDEN RENOVATION
BY: J. H. [Name]
CHKD BY: [Name]

PROJECT: House Foods Garden Grove Expansion & Renovation
 7351 Orangewood Avenue
 Garden Grove, California 92641

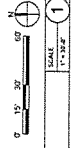
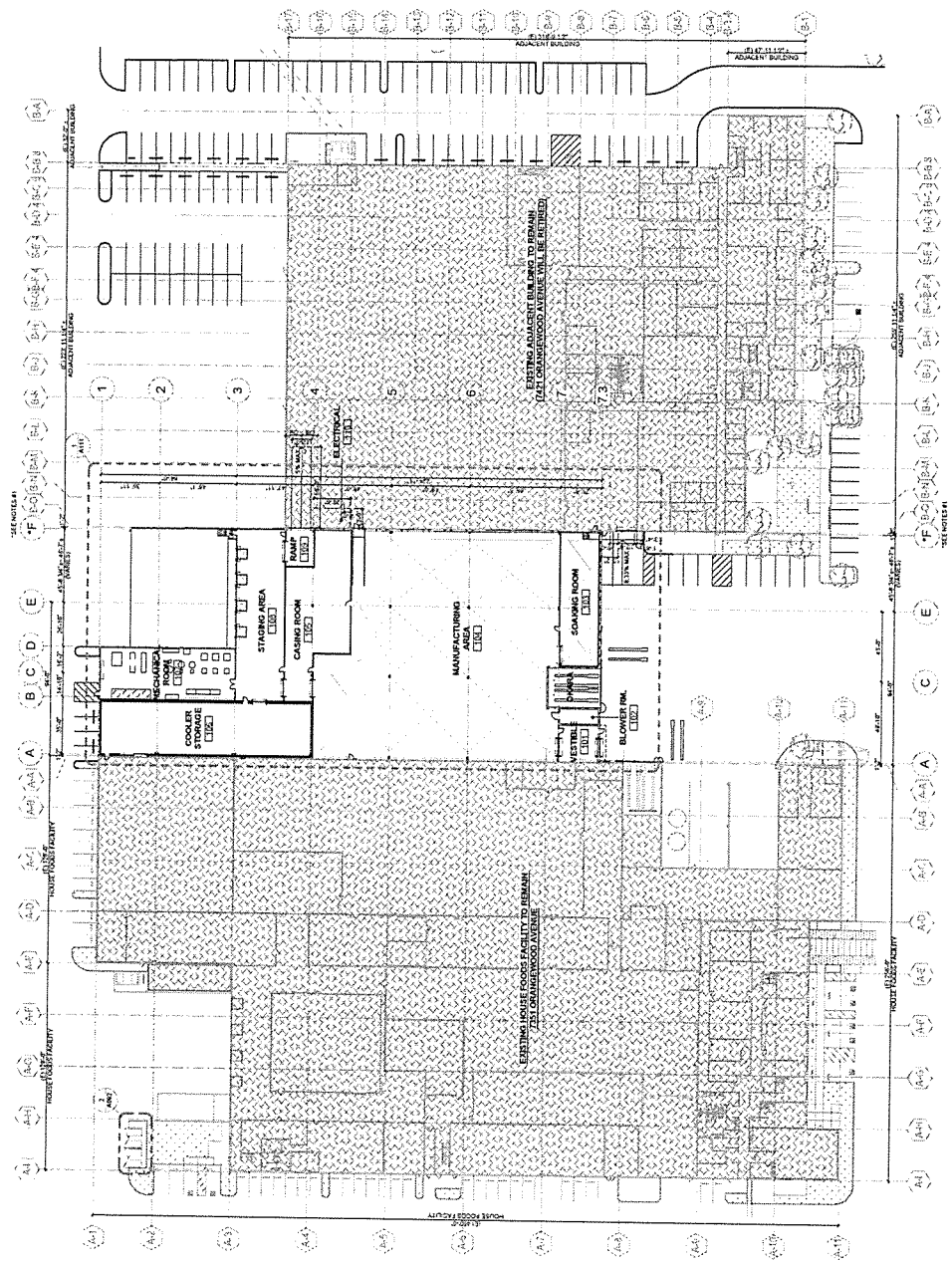
OVERALL FLOOR PLAN

PROJECT NUMBER	10001
DATE	01/15/24
DESIGNER	DA
CHECKER	DA
DATE	01/15/24
SHEET	1

A102
 NOT FOR CONSTRUCTION

OVERALL FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.



OVERALL FLOOR PLAN
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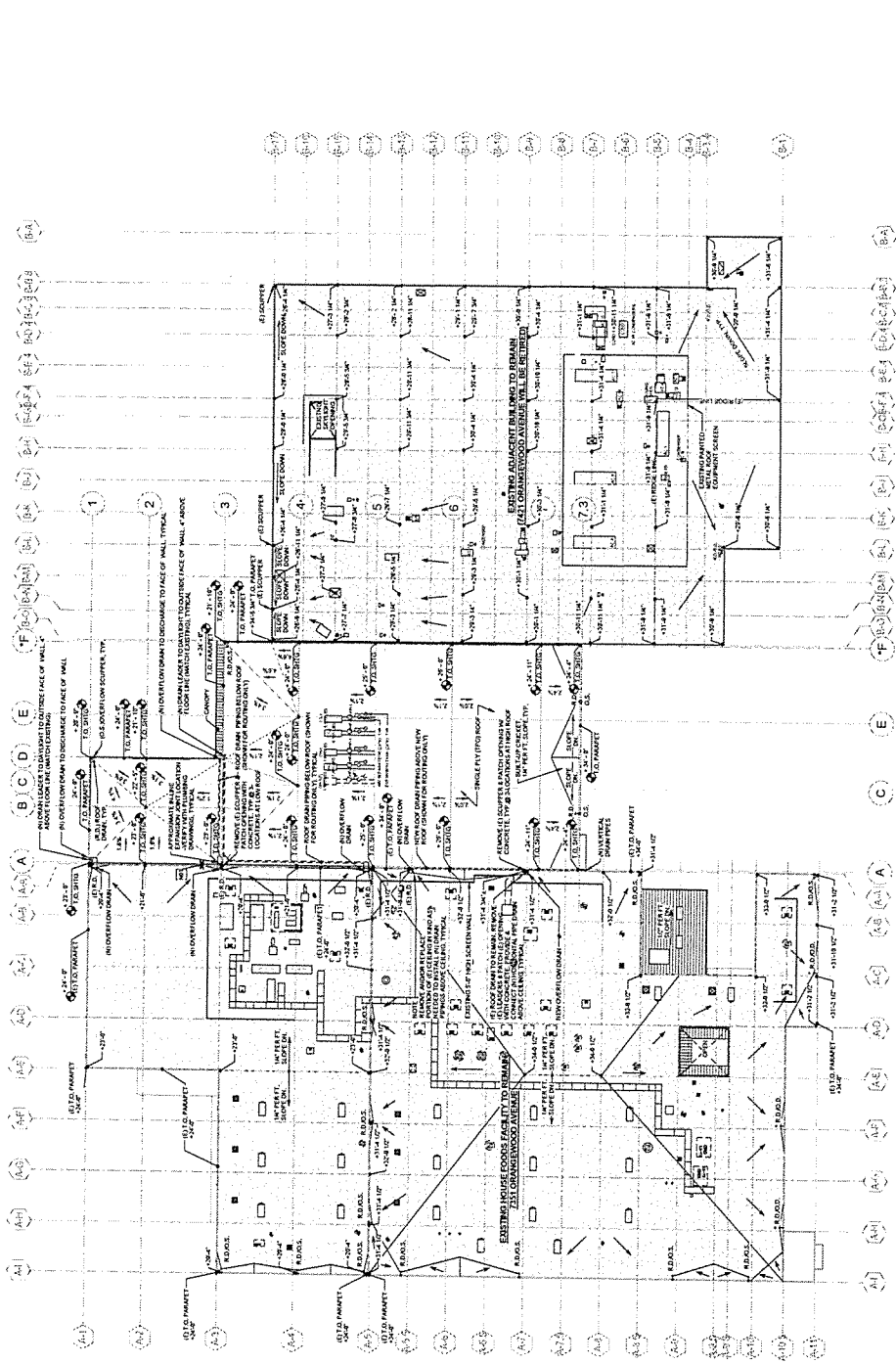
PROJECT NO.	18001
PROJECT NAME	HOUSE FOODS GARDEN GROVE
OWNER	House Foods
DESIGNER	Joseph L. Trujano & Associates, Inc.
DATE	08/20/18
SCALE	1" = 32'-0"
PROJECT	

OVERALL ROOF PLAN NOTES

1. ALL ROOFING SHALL BE PARALLEL TO GRADE UNLESS NOTED OTHERWISE.
2. ROOF ELEVATIONS SHOWN ON THIS PLAN SHALL BE TO THE FINISHED ROOFING SURFACE. ROOF ELEVATIONS SHOWN ON THIS PLAN SHALL BE TO THE FINISHED ROOFING SURFACE. ROOF ELEVATIONS SHOWN ON THIS PLAN SHALL BE TO THE FINISHED ROOFING SURFACE.
3. ROOF ELEVATIONS SHOWN ON THIS PLAN SHALL BE TO THE FINISHED ROOFING SURFACE. ROOF ELEVATIONS SHOWN ON THIS PLAN SHALL BE TO THE FINISHED ROOFING SURFACE.
4. ALL ROOFING SHALL BE DONE IN ACCORDANCE WITH THE ROOFING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. ROOF SLOPE SHALL BE 1/4" PER FOOT UNLESS NOTED OTHERWISE.
6. ALL ROOFING PRODUCTS SHALL BE COMPLY WITH THE FOLLOWING SECTION 051100-01.
7. CENTER OUTLINE LINES OF ROOFING PRODUCT REFLECTANCE & FINISHES ARE TO BE USED TO DETERMINE THE LOCATION OF THE ROOFING PRODUCT.
8. PROVIDE 2" ROOF OVERHANGS UNLESS NOTED OTHERWISE.
9. PROVIDE 1" ROOF OVERHANGS UNLESS NOTED OTHERWISE.
10. PROVIDE 1/2" ROOF OVERHANGS UNLESS NOTED OTHERWISE.

OVERALL ROOF PLAN KEYNOTES

1. PROVIDE 2" ROOF OVERHANGS UNLESS NOTED OTHERWISE.
2. PROVIDE 1" ROOF OVERHANGS UNLESS NOTED OTHERWISE.
3. PROVIDE 1/2" ROOF OVERHANGS UNLESS NOTED OTHERWISE.



FLOOR PLAN NOTES

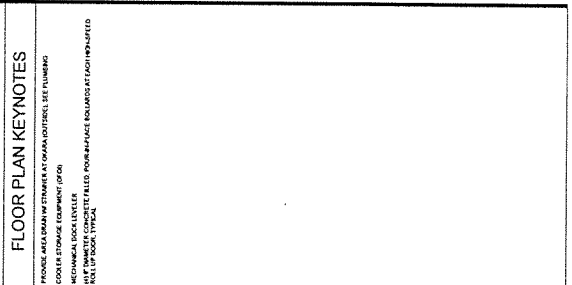
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF TUSTIN SPECIFICATIONS TO THE 2015 CALIFORNIA BUILDING CODE.
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LEGEND

- 1. 1/2" THICK CONCRETE FLOOR
- 2. 1/2" THICK CONCRETE FLOOR
- 3. 1/2" THICK CONCRETE FLOOR
- 4. 1/2" THICK CONCRETE FLOOR
- 5. 1/2" THICK CONCRETE FLOOR
- 6. 1/2" THICK CONCRETE FLOOR
- 7. 1/2" THICK CONCRETE FLOOR
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- 13. 1/2" THICK CONCRETE FLOOR
- 14. 1/2" THICK CONCRETE FLOOR
- 15. 1/2" THICK CONCRETE FLOOR

FLOOR PLAN KEYNOTES

- 1. 1/2" THICK CONCRETE FLOOR
- 2. 1/2" THICK CONCRETE FLOOR
- 3. 1/2" THICK CONCRETE FLOOR
- 4. 1/2" THICK CONCRETE FLOOR
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- 14. 1/2" THICK CONCRETE FLOOR
- 15. 1/2" THICK CONCRETE FLOOR



1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST FLOOR EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST FLOOR EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST FLOOR EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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20100 15th Street, Suite 100, San Diego, CA 92161
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 10000 LA JOLLA VILLAGE ROAD, SUITE 100, LA JOLLA, CA 92037
 TEL: 619-451-1100
 FAX: 619-451-1101
 WWW.KAJIMA.COM

DATE: 11/11/15
 DRAWN BY: J. TRUJANO
 CHECKED BY: J. TRUJANO
 REVISION:

PROJECT
 House Foods Garden
 Grove Expansion &
 Renovation
 7351 Orangewood Avenue
 Garden Grove, California 92641

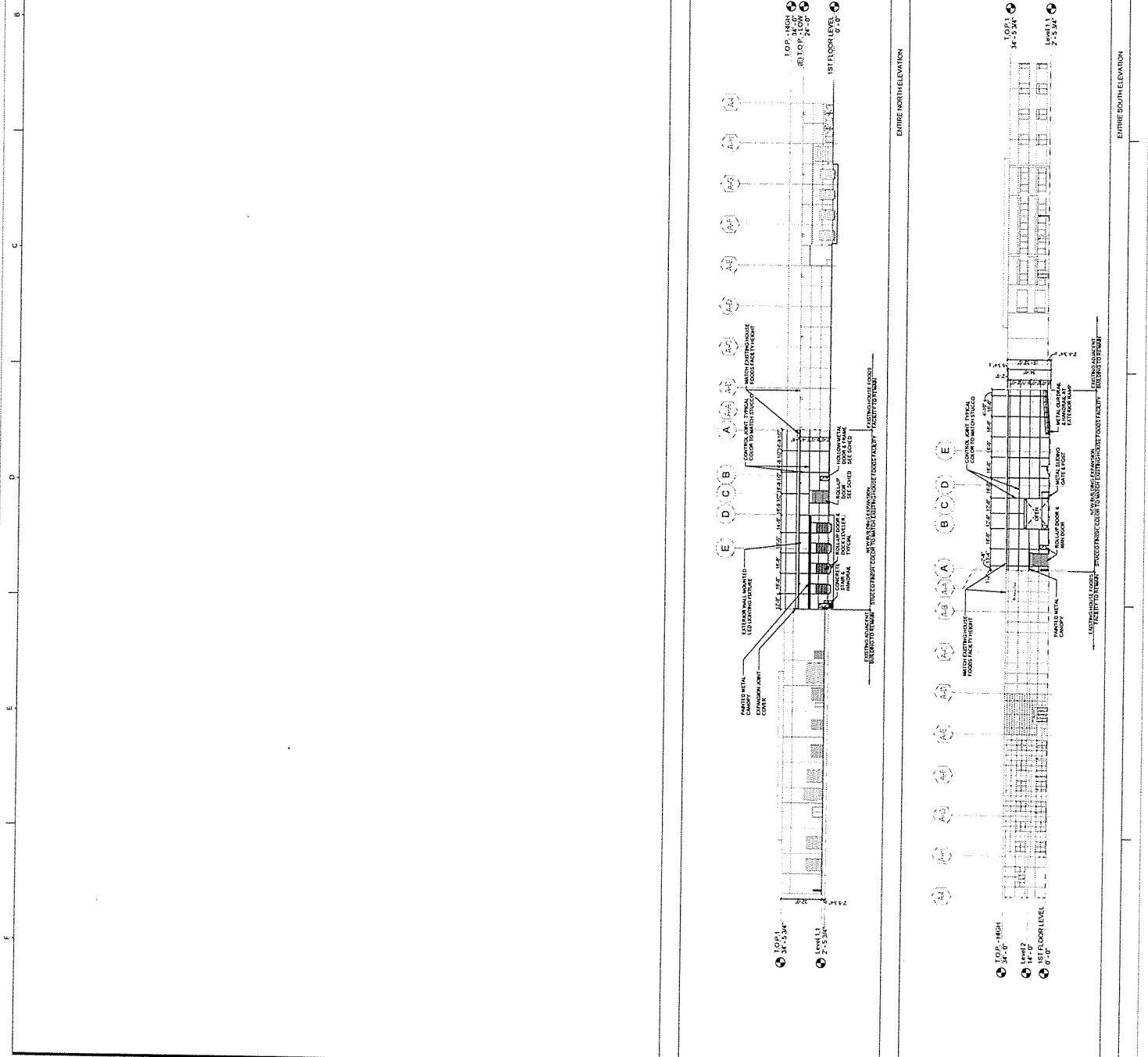
ENTIRE BUILDING ELEVATIONS

PROJECT NO.	15001
PROJECT NAME	HOUSE FOODS GARDEN GROVE EXPANSION & RENOVATION
DRAWN BY	ADRIAN
CHECKED BY	J. TRUJANO
DATE	11-11-2015

A201

NOT FOR CONSTRUCTION

FLOOR PLAN NOTES



ENTIRE NORTH ELEVATION
 SCALE: 1" = 3'-0"

ENTIRE SOUTH ELEVATION
 SCALE: 1" = 3'-0"

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 FAX: 310.781.1101
 WWW.BUSHNIA.COM

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 FAX: 310.781.1101
 WWW.MEENGINEERS.COM

BRIGHTVIEW
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 FAX: 310.781.1101
 WWW.BRIGHTVIEW.COM

PROJECT
 HOUSE FOODS GARDEN GROVE EXPANSION & RENOVATION
 731 CHERRYWOOD AVENUE
 GARDEN GROVE, CALIFORNIA 92641

DATE
 08/21/14
REVISION
 08/21/14
SCALE
 1/8" = 1'-0"

PROJECT
 HOUSE FOODS GARDEN GROVE EXPANSION & RENOVATION
 731 CHERRYWOOD AVENUE
 GARDEN GROVE, CALIFORNIA 92641

DATE
 08/21/14
REVISION
 08/21/14
SCALE
 1/8" = 1'-0"

PROJECT
 HOUSE FOODS GARDEN GROVE EXPANSION & RENOVATION
 731 CHERRYWOOD AVENUE
 GARDEN GROVE, CALIFORNIA 92641

DATE
 08/21/14
REVISION
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SCALE
 1/8" = 1'-0"

PROJECT
 HOUSE FOODS GARDEN GROVE EXPANSION & RENOVATION
 731 CHERRYWOOD AVENUE
 GARDEN GROVE, CALIFORNIA 92641

DATE
 08/21/14
REVISION
 08/21/14
SCALE
 1/8" = 1'-0"

PROJECT
 HOUSE FOODS GARDEN GROVE EXPANSION & RENOVATION
 731 CHERRYWOOD AVENUE
 GARDEN GROVE, CALIFORNIA 92641

DATE
 08/21/14
REVISION
 08/21/14
SCALE
 1/8" = 1'-0"

PROJECT
 HOUSE FOODS GARDEN GROVE EXPANSION & RENOVATION
 731 CHERRYWOOD AVENUE
 GARDEN GROVE, CALIFORNIA 92641

DATE
 08/21/14
REVISION
 08/21/14
SCALE
 1/8" = 1'-0"

PROJECT
 HOUSE FOODS GARDEN GROVE EXPANSION & RENOVATION
 731 CHERRYWOOD AVENUE
 GARDEN GROVE, CALIFORNIA 92641

DATE
 08/21/14
REVISION
 08/21/14
SCALE
 1/8" = 1'-0"

PROJECT
 HOUSE FOODS GARDEN GROVE EXPANSION & RENOVATION
 731 CHERRYWOOD AVENUE
 GARDEN GROVE, CALIFORNIA 92641

DATE
 08/21/14
REVISION
 08/21/14
SCALE
 1/8" = 1'-0"

PROJECT
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DATE
 08/21/14
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SCALE
 1/8" = 1'-0"

PROJECT
 HOUSE FOODS GARDEN GROVE EXPANSION & RENOVATION
 731 CHERRYWOOD AVENUE
 GARDEN GROVE, CALIFORNIA 92641

ELEVATION NOTES

- 1. INTERLOCKED BRICK SHALL BE SMOOTH-SAWN SANDBAR FRESH COLOR TO MATCH EXISTING BRICK.

LEGEND

- 1. INTERLOCKED BRICK
- 2. BRICK
- 3. STUCCO
- 4. CONCRETE
- 5. GLASS
- 6. METAL
- 7. ROOF

ELEVATION KEYNOTES

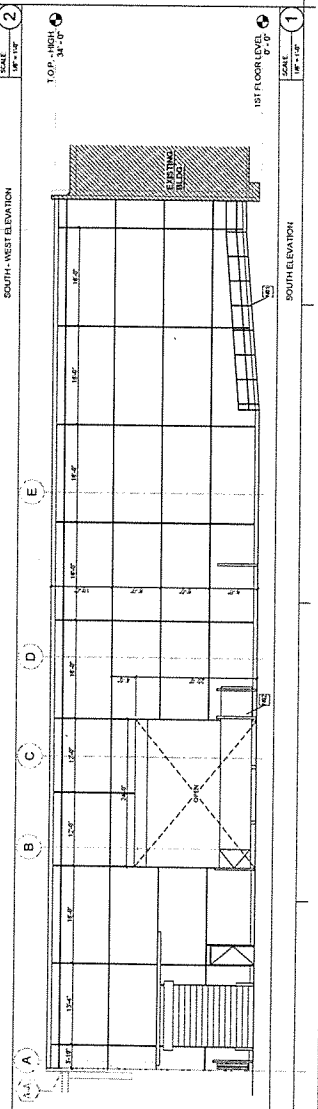
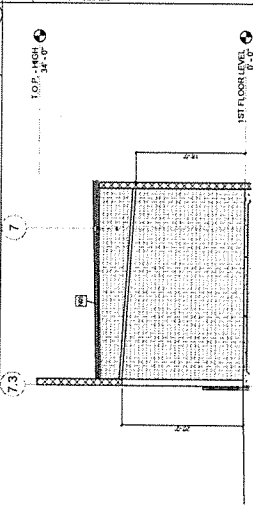
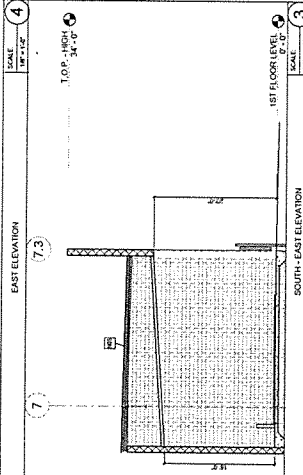
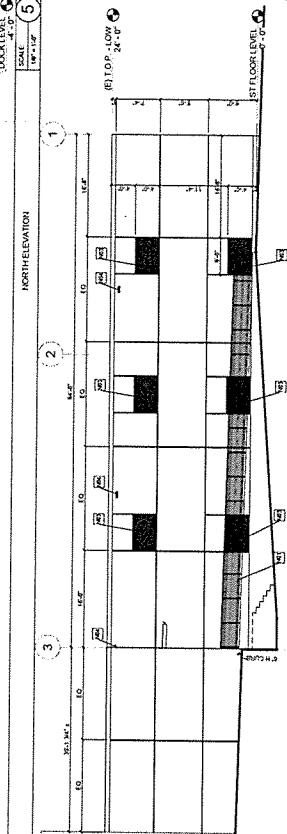
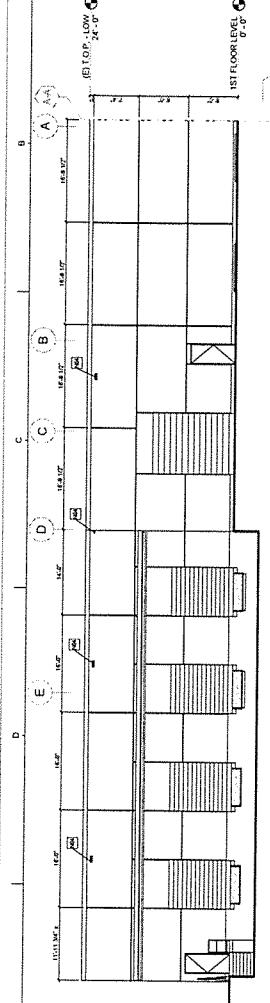
- 1. INTERLOCKED BRICK
- 2. BRICK
- 3. STUCCO
- 4. CONCRETE
- 5. GLASS
- 6. METAL
- 7. ROOF

EXTERIOR ELEVATIONS

PROJECT NO.	14001
PROJECT NAME	HOUSE FOODS GARDEN GROVE EXPANSION & RENOVATION
OWNER	HOUSE FOODS
ARCHITECT	ASPERLICH, TRUWADY AND ASSOCIATES, INC.
DATE	08/21/14
SCALE	1/8" = 1'-0"
PROJECT	HOUSE FOODS GARDEN GROVE EXPANSION & RENOVATION

A211

NOT FOR CONSTRUCTION



KAJIMA ASSOCIATES INC.

REGISTERED PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA
 LICENSE NO. 44517
 1000 AVENUE OF THE STARS, SUITE 1000
 BERKELEY, CALIFORNIA 94704
 TEL: (415) 841-1000
 FAX: (415) 841-1001
 WWW.KAJIMA-USA.COM

KAJIMA ASSOCIATES, INC.
 200 EAST 10TH STREET, SUITE 400
 DENVER, COLORADO 80202
 TEL: (303) 733-1000
 FAX: (303) 733-1001
 WWW.KAJIMA-USA.COM

JOSEPH C. TRUAW AND ASSOCIATES, INC.
 200 S. WASHINGTON STREET, SUITE 1100
 DENVER, COLORADO 80202
 TEL: (303) 733-1000
 FAX: (303) 733-1001
 WWW.KAJIMA-USA.COM

BUSHRA, TSAI INCORPORATED
 2700 W. WASHINGTON STREET, SUITE 1000
 DENVER, COLORADO 80202
 TEL: (303) 733-1000
 FAX: (303) 733-1001
 WWW.KAJIMA-USA.COM

ME ENGINEERS
 8711 KATHLEEN ROAD, SUITE 100
 DENVER, COLORADO 80231
 TEL: (303) 733-1000
 FAX: (303) 733-1001
 WWW.KAJIMA-USA.COM

DATE: 11/15/2011
 DRAWN BY: J. TRUAW
 CHECKED BY: J. TRUAW

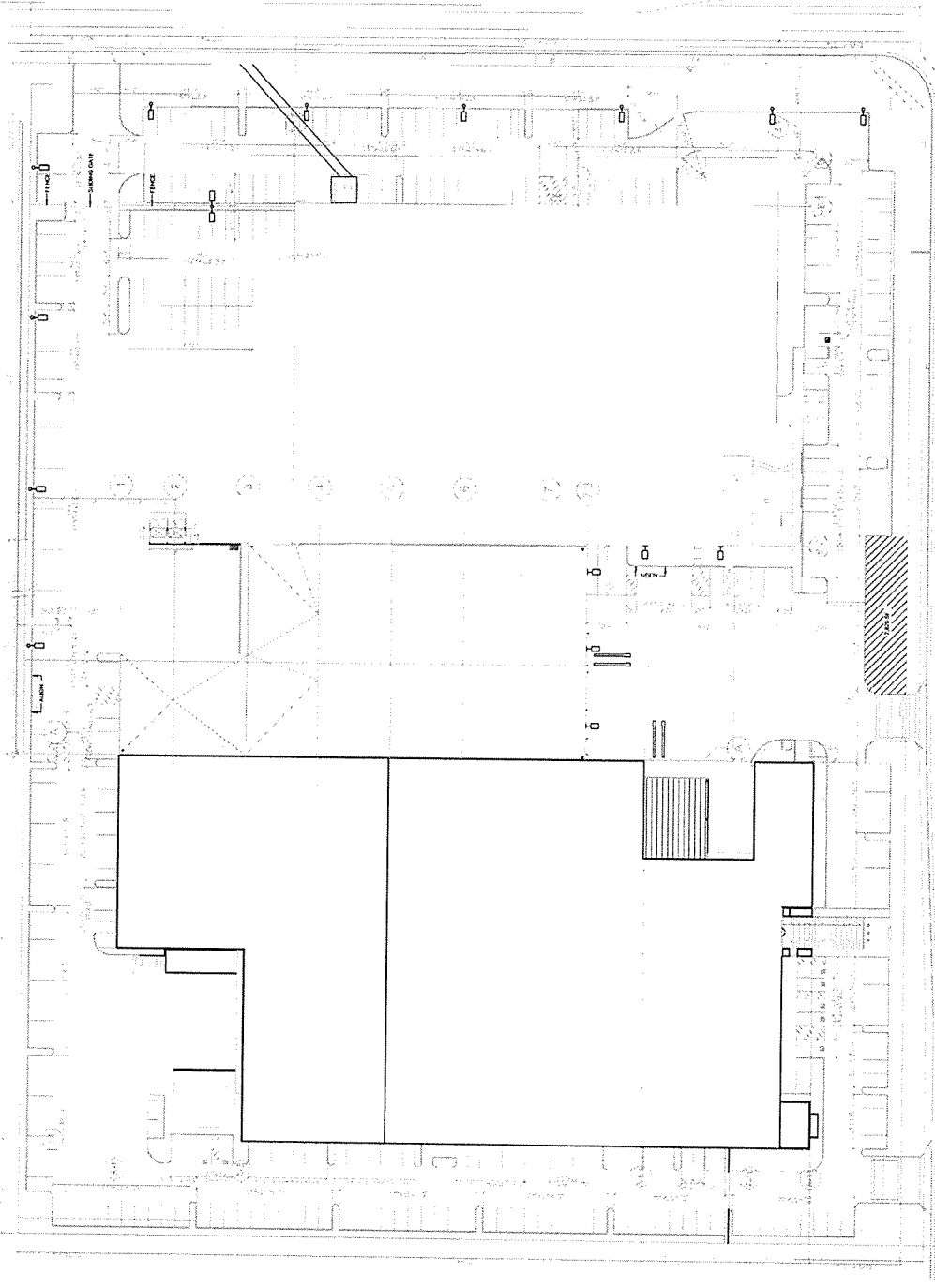
PROJECT: House Foods Garden & Grove Expansion & Renovation
 7251 E. 242nd Avenue
 Denver, Colorado 80231

DATE: 11/15/2011
 DRAWN BY: J. TRUAW
 CHECKED BY: J. TRUAW

PROJECT NUMBER	11000
PROJECT NAME	House Foods Garden & Grove Expansion & Renovation
PROJECT NUMBER	11000
PROJECT NAME	House Foods Garden & Grove Expansion & Renovation
DATE	11/15/2011
SCALE	1" = 30'-0"
SHEET	1

E101
 NOT FOR CONSTRUCTION

GENERAL NOTES



SYMBOL	TYPE	DESCRIPTION	MODEL
○	A	POLE MOUNTED LED LIGHT FIXTURE, 4'x12'-0"	OSRAM - #48-LED-4'x12'
□	B	ROOF MOUNTED LED LIGHT FIXTURE, 4'x12'-0"	OSRAM - #48-LED-4'x12'
□	C	WALL MOUNTED LED LIGHT FIXTURE, 4'x12'-0"	OSRAM - #48-LED-4'x12'

SCALE: 1" = 30'-0"
 SHEET: 1



**HOUSE FOODS
EXPANSION
LANDSCAPE
RENOVATION PLAN**
2351 E 74TH ORANGEWOOD AVENUE
GREEN BROOK, CALIFORNIA 90401

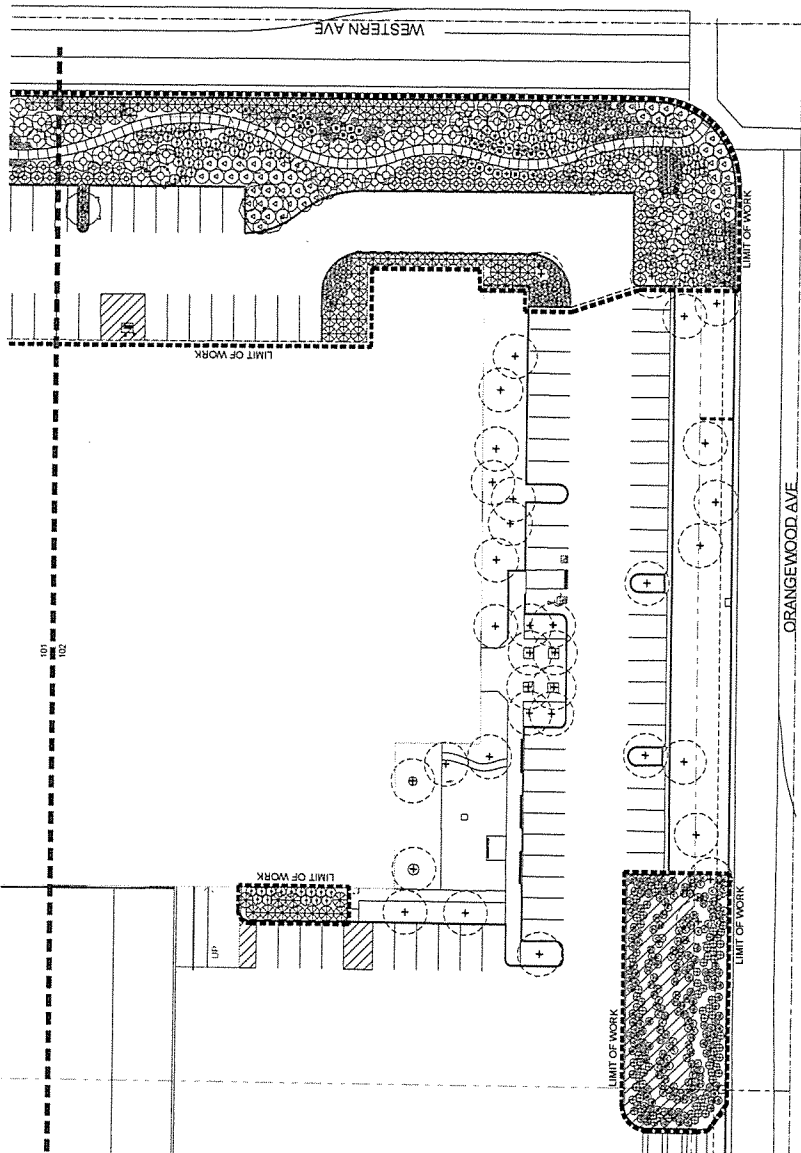
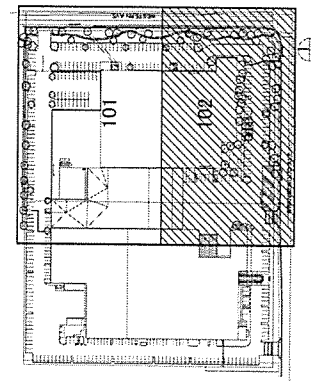
PLANTING PLAN

PROJECT NO.	1725504
PROJECT NAME	HOUSE FOODS
DATE	8/11/2019
DRAWN BY	AR
CHECKED BY	ME
SCALE	1" = 20'-0"
SHEET NO.	101

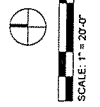
L4.102

NOT FOR CONSTRUCTION

LANDSCAPE LEGEND			
SYMBOL	BOTANICAL NAME (COMMON NAME)	SIZE	TOTAL QTY
(Symbol)	SPRINGERS SWEET PEA	1" DIA	4
(Symbol)	LOWBUSH CORNERUS ROSE HUE	2" DIA	7
(Symbol)	ROSE CORNERUS	2" DIA	3
(Symbol)	ROSE CORNERUS	2" DIA	4
(Symbol)	EXISTING TREES TO REMAIN (SANTALUM, SYCAMORE, SWEET PEA)	EXISTING	08
TREES & SHRUBS			
SYMBOL	BOTANICAL NAME	SIZE	TOTAL QTY
(Symbol)	AGAVE CORDATA 'SILVER PANT'™	5 GAL	139
(Symbol)	AGAVE CORDATA 'SILVER PANT'™	5 GAL	108
(Symbol)	AGAVE CORDATA 'SILVER PANT'™	5 GAL	27
(Symbol)	AGAVE CORDATA 'SILVER PANT'™	5 GAL	18
(Symbol)	AGAVE CORDATA 'SILVER PANT'™	5 GAL	8
(Symbol)	AGAVE CORDATA 'SILVER PANT'™	5 GAL	103
(Symbol)	AGAVE CORDATA 'SILVER PANT'™	5 GAL	45
(Symbol)	AGAVE CORDATA 'SILVER PANT'™	5 GAL	200
(Symbol)	AGAVE CORDATA 'SILVER PANT'™	5 GAL	78
(Symbol)	AGAVE CORDATA 'SILVER PANT'™	5 GAL	84



- GENERAL PLANTING NOTES:**
1. SITE PREPARATION SHALL BE ACCORDING TO THE SPECIFICATIONS AND CONTRACT DOCUMENTS. ALL ROCKS, WEEDS, DEBRIS, AND OTHER EXISTING MATERIAL FROM THE SITE SHALL BE REMOVED TO A DEPTH OF 12" OF THE EXISTING GRADE SURFACE. ALL REMOVED MATERIAL SHALL BE TAKEN OFF-SITE TO AN APPROVED LANDFILL.
 2. SURFACE PREPARATION SHALL BE ACCORDING TO THE SPECIFICATIONS AND CONTRACT DOCUMENTS. ALL EXISTING MATERIAL SHALL BE REMOVED TO A DEPTH OF 12" OF THE EXISTING GRADE SURFACE. ALL REMOVED MATERIAL SHALL BE TAKEN OFF-SITE TO AN APPROVED LANDFILL.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. ALL PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
 4. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND CONTRACT DOCUMENTS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 5. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 6. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 7. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 8. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 9. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 10. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 11. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 12. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 13. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 14. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 15. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 16. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 17. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 18. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 19. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.
 20. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAILS AND SPECIFICATIONS.



RECORDING REQUESTED BY:

WHEN RECORDED MAIL TO:
City of Garden Grove
P.O. Box 3070
Garden Grove, CA 92842
Attn: Planning Services Division

SPACE ABOVE THIS LINE FOR RECORDERS USE

LOT LINE ADJUSTMENT NO. LLA-___-___

RECORD OWNERS: EXISTING PARCELS

PARCEL NO. 1
NAME: HOUSE FOODS HOLDING USA INC., CORPORATION

ADDRESS: 7351 ORANGEWOOD AVENUE
GARDEN GROVE, CA 92841

NAME: _____

ADDRESS: _____

PARCEL NO. 2
NAME: HOUSE FOODS HOLDING USA INC., CORPORATION

ADDRESS: 7351 ORANGEWOOD AVENUE
GARDEN GROVE, CA 92841

NAME: _____

ADDRESS: _____

(I/We) hereby certify that: 1) (I am/We are) the record owner(s) of all parcels proposed for adjustment by this application, 2) (I/We) have knowledge of and consent to the filing of this application, and 3) the information submitted in connection with this application is true and correct.

APPLICANT/OWNER

By: N. Nakayama
Title: President

By: _____
Title: _____

By: _____
Title: _____

Date: 3/14/2018

Contact Person: _____

Daytime Phone No.: _____

APPLICANT/OWNER

By: N. Nakayama
Title: President

By: _____
Title: _____

By: _____
Title: _____

Date: 3/14/2018

Address: _____

SPACE BELOW FOR OFFICIAL USE ONLY

Date Received	Land Use Designation	CEQA Status	Subdivision Committee Action	Land Use APPROVED
			APPROVED	By:
Zoning	AP Numbers	Filing Fee	Date Filed	Date:
			Date Filed	Recording Date
Receipt Number				

City of Garden Grove
Planning Services Division
(714) 741-5312

EXHIBIT "A"
 LOT LINE ADJUSTMENT LL2017-_____
 (LEGAL DESCRIPTION)

OWNERS	EXISTING PARCELS AP NUMBERS	PROPOSED PARCELS REFERENCE NUMBER
HOUSE FOODS HOLDING USA INC., A CALIFORNIA CORPORATION	131-021-38 AND 39	PARCEL 1

PARCELS 1 AND 2 OF PARCEL MAP NO. 92-196, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA AS FILED IN BOOK 276, PAGES 9 AND 10 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID PARCEL 2; THENCE, ALONG THE NORTHERLY LINE OF SAID PARCELS 1 AND 2, NORTH 89°19'25" EAST 774.67 FEET TO THE NORTHEAST CORNER OF SAID PARCEL 1; THENCE, ALONG THE EASTERLY LINE OF SAID PARCEL 1, SOUTH 00°51'09" EAST 555.92 FEET TO THE SOUTHEASTERLY LINE OF SAID PARCEL 1; THENCE, ALONG SAID SOUTHEASTERLY LINE, SOUTH 44°14'08" WEST 38.24 FEET TO THE SOUTHERLY LINE OF SAID PARCELS 1 AND 2; THENCE, ALONG SAID SOUTHERLY LINE SOUTH 89°19'25" WEST 749.47 FEET TO THE WESTERLY LINE OF SAID PARCEL 2; THENCE, ALONG SAID WESTERLY LINE NORTH 00°40'03" WEST 583.00 FEET TO THE POINT OF BEGINNING.

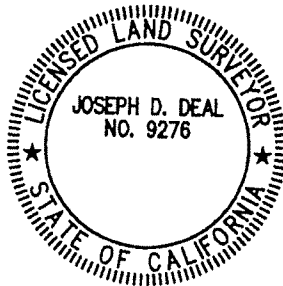
CONTAINING AN AREA OF APPROXIMATELY 451,813 SQUARE FEET OR 10.372 ACRES.

AS SHOWN ON THE ATTACHED EXHIBIT "B" AND BY THIS REFERENCE MADE A PART HEREOF.

SUBJECT TO EASEMENTS, COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, RIGHTS, RIGHTS-OF-WAY AND OTHER MATTERS OF RECORD, IF ANY.

LEGAL DESCRIPTION PREPARED UNDER THE SUPERVISION OF:

J. D. Deal 3.08.18
 JOSEPH D. DEAL, P.L.S. 9276 DATE

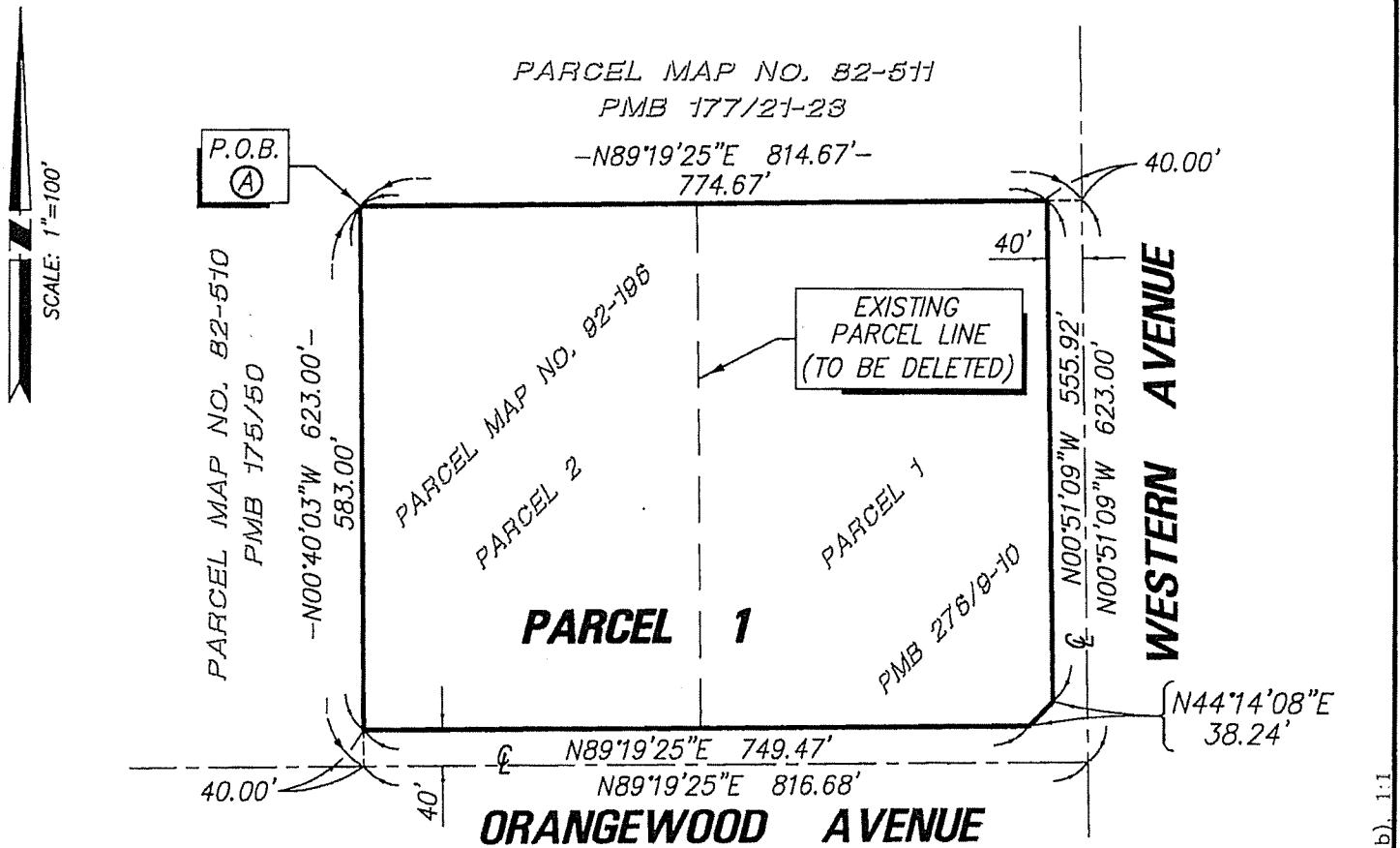


P:\HFA17073\CAD\17073_11a.dwg, 11a-legal (exhibit a), 1:1

NOTE:
 AS DESCRIBED ON THE ATTACHED EXHIBIT "B"
 AND BY THIS REFERENCE MADE A PART THEREOF.

EXHIBIT "B"
LOT LINE ADJUSTMENT LL2017-_____
(MAP)

OWNERS	EXISTING PARCELS AP NUMBERS	PROPOSED PARCELS REFERENCE NUMBER
HOUSE FOODS HOLDING USA INC., A CALIFORNIA CORPORATION	131-021-38 AND 39	PARCEL 1



NOTES:

(A) NORTHWEST CORNER OF PARCEL 2 AS SHOWN ON PARCEL MAP NO. 92-196, FILED IN BOOK 276, PAGES 9 AND 10 OF PARCEL MAPS.

AREA OF PARCEL 1 = 451,813 SQUARE FEET

BASIS OF BEARINGS:

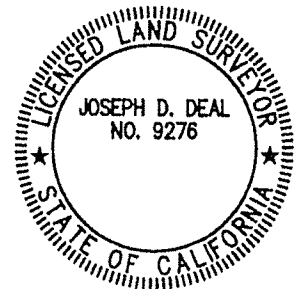
THE BEARING N89°19'25"E FOR THE CENTERLINE OF ORANGEWOOD AVENUE AS SHOWN ON PARCEL MAP NO. 92-196, FILED IN BOOK 276, PAGES 9 AND 10 OF PARCEL MAPS, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARING FOR THIS EXHIBIT.

NOTE:

AS DESCRIBED ON THE ATTACHED EXHIBIT "A" AND BY THIS REFERENCE MADE A PART THEREOF.

LEGEND:

- — — DENOTES EXISTING PARCEL LINE (TO BE DELETED).
- DENOTES EXISTING PARCEL LINES (TO REMAIN).

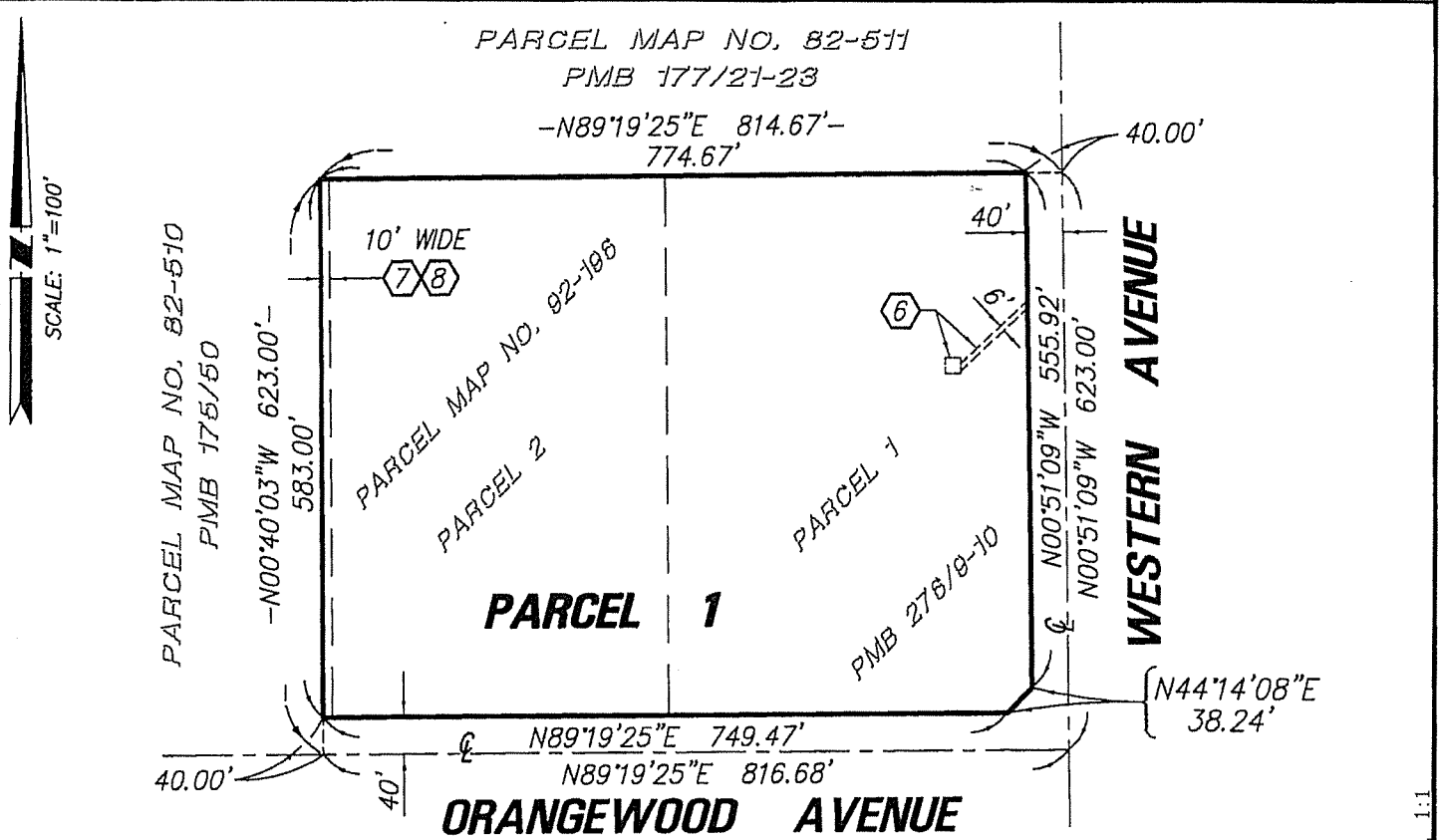


THIS MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION.

Joseph D. Deal 3.08.18
 JOSEPH D. DEAL, P.L.S. 9276

EXHIBIT "B"
LOT LINE ADJUSTMENT LL2017-_____
(EASEMENTS)

OWNERS	EXISTING PARCELS AP NUMBERS	PROPOSED PARCELS REFERENCE NUMBER
HOUSE FOODS HOLDING USA INC., A CALIFORNIA CORPORATION	131-021-38 AND 39	PARCEL 1



EASEMENT NOTES:

- ⑥ EASEMENT OF SOUTHERN CALIFORNIA EDISON COMPANY FOR UNDERGROUND LINES, CONDUITS INCLUDING ABOVE-GROUND APPURTENANT FIXTURES IN BOOK 13832, PAGE 327, OFFICIAL RECORDS.
- ⑦ EASEMENT OF THE CITY OF GARDEN GROVE FOR DOMESTIC WATER SYSTEM AND APPURTENANCES, AND STORM DRAIN SYSTEM AND APPURTENANCES AS DEDICATED ON PARCEL MAP NO. 82-511, P.M.B. 177, PAGES 21 THROUGH 23, INCLUSIVE OF PARCEL MAPS.
- ⑧ EASEMENT OF THE CITY OF GARDEN GROVE FOR WATERLINE AND INCIDENTAL PURPOSES AS DEDICATED ON PARCEL MAP NO. 82-511, P.M.B. 177, PAGES 21 THROUGH 23, INCLUSIVE OF PARCEL MAPS.

EASEMENT OF GTE CALIFORNIA INCORPORATED FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES AS DISCLOSED IN DEED RECORDED NOVEMBER 24, 1993 AS INSTRUMENT NO. 1993-821410, OFFICIAL RECORDS.

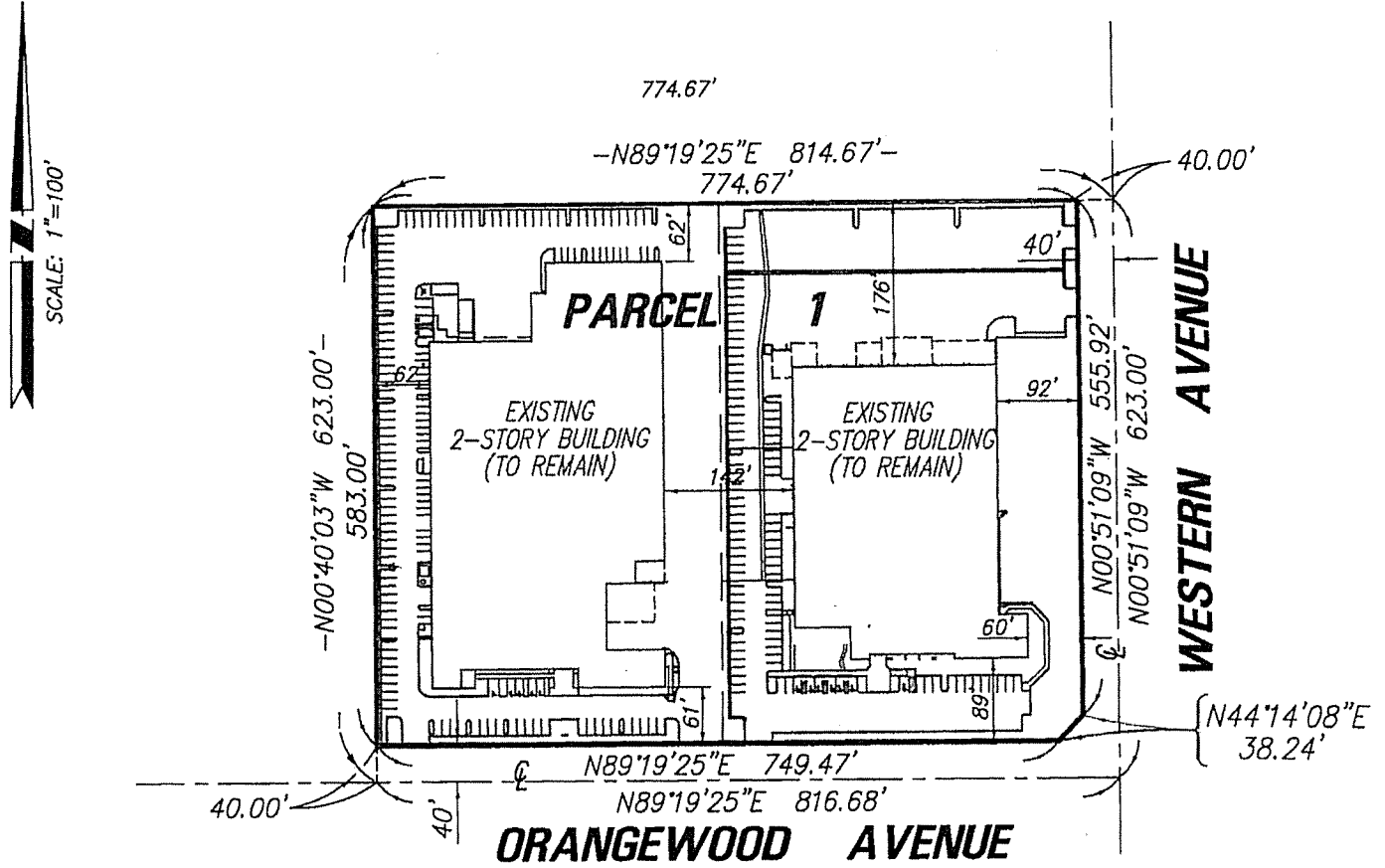
(EASEMENT IS LOCATED OUTSIDE OF THE PROPERTY LIMITS).

EASEMENT OF SOUTHERN CALIFORNIA EDISON COMPANY, FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES AS DISCLOSED IN DEED RECORDED APRIL 2, 1985 AS INSTRUMENT NO. 1985-115994, OFFICIAL RECORDS.

(EASEMENT IS LOCATED OUTSIDE OF THE PROPERTY LIMITS).

EXHIBIT "B"
LOT LINE ADJUSTMENT LL2017-_____
(EXISTING SITE PLAN)

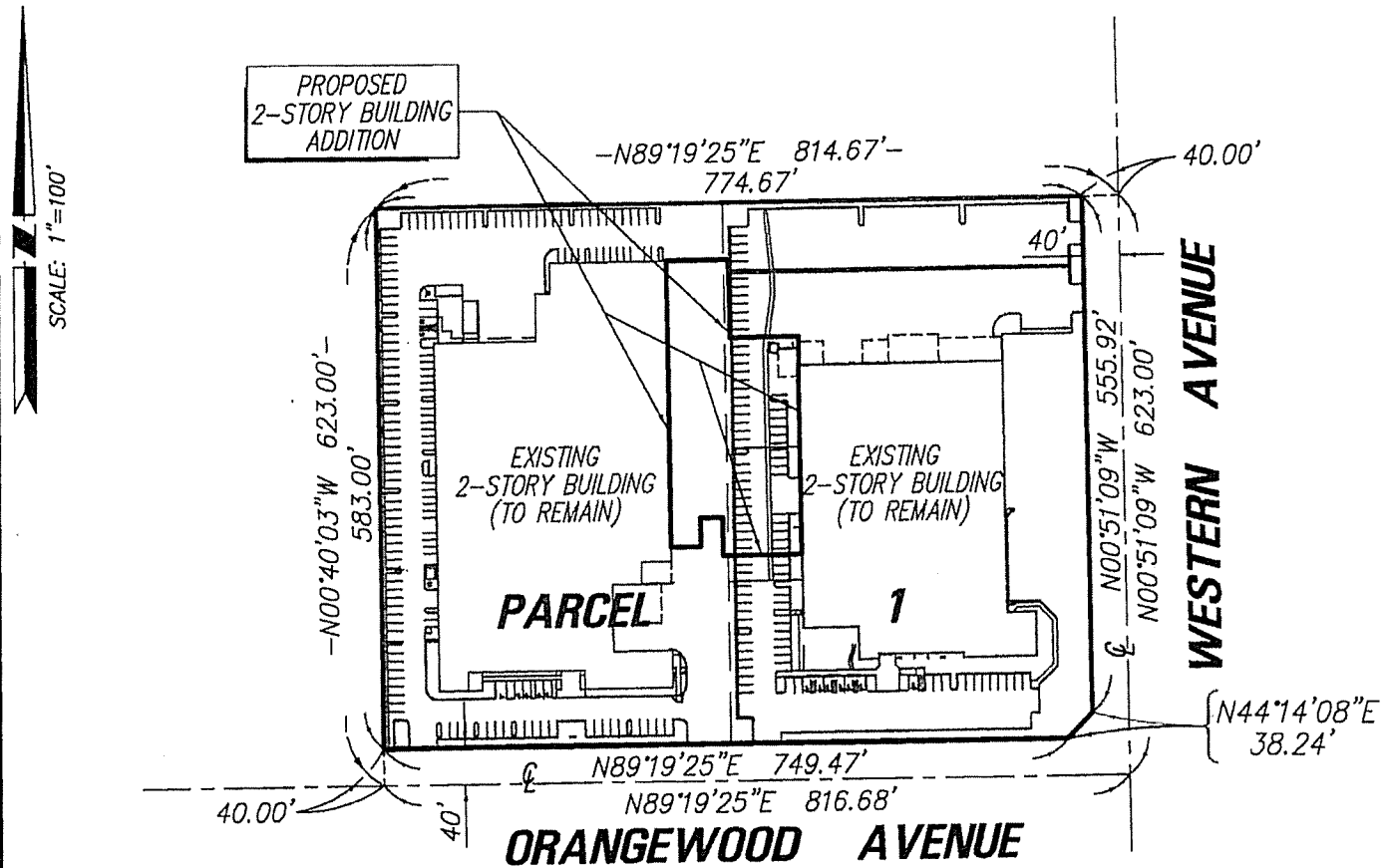
OWNERS	EXISTING PARCELS AP NUMBERS	PROPOSED PARCELS REFERENCE NUMBER
HOUSE FOODS HOLDING USA INC., A CALIFORNIA CORPORATION	131-021-38 AND 39	PARCEL 1



SCALE: 1"=100'

EXHIBIT "B"
LOT LINE ADJUSTMENT LL2017-_____
(PROPOSED BUILDING SITE PLAN)

OWNERS	EXISTING PARCELS AP NUMBERS	PROPOSED PARCELS REFERENCE NUMBER
HOUSE FOODS HOLDING USA INC., A CALIFORNIA CORPORATION	131-021-38 AND 39	PARCEL 1



NOTE:
 SEE CONCEPTUAL GRADING PLANS FOR PROPOSED
 SITE CONSTRUCTION.

RESOLUTION NO. 5927-18

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE ADOPTING A MITIGATED NEGATIVE DECLARATION AND MITIGATION MONITORING AND REPORTING PROGRAM AND APPROVING SITE PLAN NO. SP-054-2018 AND LOT LINE ADJUSTMENT NO. LLA-015-2018 FOR PROPERTIES LOCATED ON THE NORTHWEST CORNER OF ORANGEWOOD AVENUE AND WESTERN AVENUE, AT 7351 AND 7421 ORANGEWOOD AVENUE, ASSESSOR'S PARCEL NOS. 131-021-38 AND 39.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on July 19, 2018, does hereby approve Site Plan No. SP-054-2018 and Lot Line Adjustment No. LLA-015-2018 for land located on the northwest corner of Orangewood Avenue and Western Avenue, Assessor's Parcel Nos. 131-021-38 and 39, subject to the Conditions of Approval attached hereto as "Exhibit B".

BE IT FURTHER RESOLVED in the matter of Site Plan No. SP-054-2018 and Lot Line Adjustment No. LLA-015-2018, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by House Foods Holding USA, Inc., Corporation.
2. The applicant is requesting (1) Site Plan approval for a 36,763 square foot single-story addition between two existing industrial buildings to expand the existing food manufacturing business; and (2) Lot Line Adjustment approval to consolidate a 5.2-acre property (Parcel 1), with an adjacent 5-acre property (Parcel 2), the current location of House Foods, for a combined acreage of approximately 10.3 acres.
3. Pursuant to the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq. and the CEQA Guidelines, California Code of Regulations, Title 14, Sections 15000 et seq., an initial study was prepared for the proposed Project and it has been determined that the proposed Project qualifies for a Mitigated Negative Declaration as the proposed Project with implementation of the proposed mitigation measures cannot, or will not, have a significant effect on the environment. A Mitigation Monitoring and Reporting Program has been prepared and is attached to the Mitigated Negative Declaration listing the mitigation measures to be monitored during project implementation. These mitigation measures are summarized in Exhibit "A" attached hereto. The Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program were prepared and circulated in accordance with CEQA and CEQA's implementing guidelines.
4. The property has a General Plan Land Use designation of Industrial and is currently zoned PUD-103-76 (Planned Unit Development). Each property is currently developed with two-story industrial buildings, 81,613 square feet (Building A) and 125,040 square feet (Building B).
5. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.

6. Report submitted by City staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on July 19, 2018, and all interested persons were given an opportunity to be heard.
8. The Planning Commission gave due and careful consideration to the matter during its meeting on July 19, 2018, and considered all oral and written testimony presented regarding the project; and

BE IT FURTHER RESOLVED, FOUND, AND DETERMINED as follows:

1. The Planning Commission of the City of Garden Grove has independently considered the proposed Mitigated Negative Declaration and the Mitigation Monitoring and Reporting Program, together with comments received during the public review process.
2. The Planning Commission of the City of Garden Grove finds on the basis of the whole record before it, including the Initial Study and comments received, that there is no substantial evidence that the Project will have a significant effect on the environment.
3. The Planning Commission further finds that the adoption of the Mitigated Negative Declaration reflects the Planning Commission's independent judgment and analysis.
4. Therefore, the Planning Commission of the City of Garden Grove does hereby adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program.
5. The record of proceedings on which the City Council of the City of Garden Grove's decision is based is located at the City of Garden Grove, 11222 Acacia Parkway, Garden Grove, California. The custodian of record of proceedings is the Director of Community and Economic Development.

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.32.030 and Government Code Section 66412, are as follows:

FACTS:

The two subject properties, which were developed in 1981, are located within the area zoned PUD-103-76, on the northwest corner of Orangewood Avenue and Western Avenue, and have a General Plan Land Use designation of Industrial. The properties to the north, west, and south, across Orangewood Avenue, are also zoned PUD-103-76. The properties to the east, across Western Avenue, are located in the City of Stanton, and are developed with industrial and commercial uses.

Each property is currently developed with a two-story industrial building. Parcel 1, a 5.284-acre property located on the east of the site, is developed with 81,613 square foot building (Building 1). Southland Industries, an MEP building systems company, has occupied the building since 2008. Parcel 2, a 5.089-acre property located on the west of the site, is developed with a 125,040 square foot building (Building 2), the current location of House Foods. The applicant and property owner, House Foods, has occupied the building since 1997 for the manufacturing of food products, primarily tofu. House Foods acquired Parcel 1 in July 2017 to allow the expansion of its operation and increase the production of the food manufacturing business in Building 2.

The applicant proposes the expansion of the existing House Foods food manufacturing operation, currently located in Building 2, to include Building 1, and to construct an expansion area to connect the two existing buildings. To allow the expansion, the applicant is requesting Lot Line Adjustment approval to consolidate Parcel 2, the current location of House Foods, with the adjacent property, Parcel 1, for a combined acreage of approximately 10.3 acres. The applicant is proposing a one-story expansion area of approximately 36,763 square feet to connect the two existing buildings for a total building area of 210,053 square feet.

The proposed one-story 36,763 square foot expansion area connecting the existing buildings will be utilized as additional manufacturing area. The addition will include a cooler storage area, a mechanical equipment room, a staging area, and a casing room in the northern area of the expansion, as well as a soaking room, a room dedicated to making okara (soy pulp), and a blower room in the southern area of the addition. The southern portion of the addition will also include a vestibule connecting the central area of the addition to the building entrance. Proposed wall and door openings will connect the addition to the existing buildings. Additionally, the project proposes a loading dock area located at the rear of the building addition near the north side of the site. The existing loading areas will remain in place. Building 1 and Building 2 will not be undergoing any interior improvements as part of the request.

FINDINGS AND REASONS:

Site Plan:

1. The Site Plan is consistent with the General Plan and complies with the spirit and intent of the provisions, conditions, and requirements of Title 9 and the General Plan.

The property has a General Plan Land Use Designation of Industrial and is zoned Planned Unit Development No. PUD-103-76. The Industrial designation is intended to encourage general industrial uses including more intensive industrial uses such as manufacturing, fabrication, assembly, processing, trucking, warehousing and distribution, and servicing. The project is consistent with the General Plan Land Use Designation and complies with the zoning requirements for the property. With approval of the Lot Line Adjustment, the placement of the new building addition, the site design, the parking lot layout, and the number

of on-site parking spaces are consistent with the spirit and intent of the requirements of the Municipal Code.

2. The project will not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation, and points of vehicular and pedestrian access.

The proposed project will improve traffic circulation both on-site and off-site with the removal and reconstruction of driveway approaches to meet City standards and by providing internal entrance- and exit-only driveways that will minimize vehicular conflicts between trucks, passenger vehicles, emergency vehicles, and trash trucks, and provide improved connectivity for trucks moving across the site. Additionally, the project proposes a loading dock area located at the rear of the building addition near the northern boundary of the site. The existing loading areas will remain in place.

Sufficient on-site parking is provided to accommodate the proposed addition by reconfiguring parking along the southern and northern site boundaries of Site B, as well as the addition of employee parking along the eastern boundary of Site B. The project proposes 355 parking stalls in total, surpassing the total parking requirement of 351 parking stalls.

Due to the industrial nature of the project area, sidewalks are not currently provided around the subject site. However, there is sufficient parking on-site to accommodate anyone using the site.

Furthermore, the City's Traffic Engineering Division and the Fire Department have also reviewed the plans, and all appropriate conditions of approval will eliminate any adverse impacts to surrounding streets.

3. The project will not adversely affect essential public facilities such as streets and alleys, utilities and drainage channels.

The streets in the area will be adequate to accommodate the development once the developer provides the necessary improvements for the project. Utilities and drainage channels in the area are existing and adequate to accommodate the development, with the exception of the sewer line along Orangewood Avenue, which is deficient. As a separate project, the City's Public Works Department plans to install a 15-inch sewer line to replace the existing 10-inch line on Orangewood Avenue, which will allow the expansion of the proposed project.

The proposed development will provide landscaping and proper grading of the site to provide adequate on-site drainage. The Public Works Engineering and Water Services Division have reviewed the plans, and all appropriate conditions of approval will eliminate any adverse impacts to the streets and alleys, utilities and drainage channels.

4. The project will not adversely impact the City's ability to perform its required public works functions.

The Public Works Department has reviewed the project, and all appropriate conditions of approval to improve the site have been included. Furthermore, issues raised by the project have been addressed in the project design and the conditions of approval.

5. The project is compatible with the physical, functional, and visual quality of the neighboring uses and desirable neighborhood characteristics.

The project is located in an area with industrial uses. The proposed project is consistent with the surrounding area, compatible with the existing uses on the surrounding properties, and has been designed in accordance with the development standards of PUD-103-76. The proposed addition between the buildings is one-story, approximately 34 to 35 feet in height. The addition will match the existing contemporary and modern architectural style and exterior stucco finishes and color of the existing buildings, and will match the existing height. The design of the proposed development will ensure a reasonable degree of compatibility with adjacent developments.

6. That through the planning and design of buildings and building placement, the provision of open space, landscaping and other site amenities, the project will attain an attractive environment for the occupants of the property.

The project has been designed for building appearance, building placement, landscaping, and other amenities to attain an attractive environment that will be an enhancement to the surrounding properties.

The proposed project will retain the existing landscaping, including trees and planters in the setback and parking areas, on the western portion of Parcel 2. All landscaping planters and trees along the current property line between the existing buildings will be removed to accommodate the addition. Landscaping and parking improvements will be made on Parcel 1 to meet the landscaping requirements of PUD-103-76, such as parking planters in the reconfigured parking areas, and the replanting of trees in the setback area along eastern boundary. Through the conditions of approval for the project, the necessary agreements for the protection and maintenance of all landscaping will be achieved.

Lot Line Adjustment:

1. The parcels, as the result of the Lot Line Adjustment, will conform to the City's General Plan, Zoning Ordinance, Subdivision Ordinance, and State Subdivision Map Act.

The subject parcels have a General Plan Land Use Designation of Industrial and are zoned PUD-103-76 (Planned Unit Development). The subject site is

comprised of two (2) separate lots, Parcel 1 (APN: 131-021-39) and Parcel 2 (APN: 131-021-38). Parcel 1 has a lot size of 230,177 square feet, while Parcel 2 has a lot size of 221,656 square feet. The combined lot area will be 451,833 square feet, which exceeds the minimum 27,500 square foot lot size required by the PUD zoning. Without approval of the Lot Line Adjustment, the proposed development cannot be constructed, as the addition will be built over an existing property line, which is not permitted by the Building Code. Approval of the proposed Lot Line Adjustment will conform to the City's General Plan and PUD zoning.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN THE STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Site Plan and Lot Line Adjustment possesses characteristics that would indicate justification of the request in accordance with Municipal Code Section 9.32.030.
2. The overall development and subsequent occupancy and operation of the site shall be subject to those environmental mitigation measures identified in the Mitigated Negative Declaration, which are summarized in the Mitigation Monitoring and Reporting Program, Exhibit "A", attached hereto.
3. In order to fulfill the purpose and intent of the Municipal Code, and, thereby, promote the health, safety, and general welfare, the attached Conditions of Approval (Exhibit "B") shall apply to Site Plan No. SP-054-2018 and Lot Line Adjustment No. LLA-015-2018.

Table 4.A: Mitigation and Monitoring Reporting Program

Mitigation Measures	Responsible Party	Timing for Standard Condition or Mitigation Measure	Compliance Verification (date and signature required)
<p>4.1 Aesthetics</p> <p>Measure AES-1: Maintenance of Construction Barriers: During construction, the Construction Contractor shall ensure, through appropriate notices and daily visual inspections, that no unauthorized materials are displayed on any temporary construction barriers or temporary pedestrian walkways, and that any such temporary barriers and walkways are maintained in a visually attractive manner. In the event that unauthorized materials or markings are discovered on any temporary construction barrier or temporary pedestrian walkway, the Construction Contractor shall remove such items within 48 hours.</p>	<p>Construction Contractor/ City of Garden Grove Community and Economic Development Department Director</p>	<p>During construction</p>	
<p>4.2 Agricultural & Forest Resources</p>			
<p>The proposed project would not result in significant adverse impacts related to agricultural or forestry resources. No mitigation would be required.</p>			
<p>4.3 Air Quality</p>			
<p>The proposed project would not result in significant adverse impacts related to air quality. No mitigation would be required.</p>			
<p>4.4 Biological Resources</p>			
<p>BIO-1: Migratory Bird Treaty Act. In the event that vegetation and tree removal activities should occur within the active breeding season for birds (February 15–August 31), the Project/Applicant (or their Construction Contractor) shall retain a qualified biologist (meaning a professional biologist that is familiar with local birds and their nesting behaviors) to conduct a nesting bird survey no more than 3 days prior to commencement of construction activities. The nesting survey shall include the project site and areas immediately adjacent to the site that could potentially be affected by project-related construction activities, such as noise, human activity, and dust, etc. If active nesting of birds is observed within 100 feet (ft) of the designated construction area prior to construction, the qualified biologist shall establish an appropriate buffer around the active nests (e.g., as much as 500 ft for raptors and 300 ft for nonraptors [subject to the recommendations of the qualified biologist]), and the buffer areas shall be</p>	<p>City of Garden Grove Community and Economic Development Department Director, or designee/Project/ Applicant (or their Construction Contractor)</p>	<p>In the event that construction activities occur during the breeding season (February 15–August 31)/Prior to commencement of grading activities and issuance of any building permits</p>	

Table 4.A: Mitigation and Monitoring Reporting Program

Mitigation Measures	Responsible Party	Timing for Standard Condition or Mitigation Measure	Compliance Verification (date and signature required)
<p>avoided until the nests are no longer occupied and the juvenile birds can survive independently from the nests. Prior to commencement of grading activities and issuance of any building permits, the City of Garden Grove (City) Community and Economic Development Department Director, or designee, shall verify that all project grading and construction plans are consistent with the requirements stated above, that pre-construction surveys have been completed and the results reviewed by staff, and that the appropriate buffers (if needed) are noted on the plans and established in the field with orange snow fencing.</p>			
<p>4.5 Cultural Resources</p>			
<p>CUL-1: Unknown Archaeological Resources. In the event that archaeological resources are discovered during excavation, grading, or construction activities, work shall cease within 50 feet of the find until a qualified archaeologist from the Orange County List of Qualified Archaeologists has evaluated the find in accordance with federal, State, and local guidelines to determine whether the find constitutes a "unique archaeological resource," as defined in Section 21083.2(g) of the California Public Resources Code (PRC). Construction personnel shall not collect or move any archaeological materials and associated materials. Construction activity may continue unimpeded on other portions of the project site. The found deposits shall be treated in accordance with federal, State, and local guidelines, including those set forth in PRC Section 21083.2.</p> <p>Prior to commencement of grading activities, the City of Garden Grove (City) Community and Economic Development Department Director, or designee, shall verify that all project grading and construction plans include specific requirements regarding California PRC (Section 21083.2) and the treatment of archaeological resources as specified above.</p>	<p>City of Garden Grove Community and Economic Development Department Director, or designee</p>	<p>In the event that archaeological resources are discovered during excavation, grading, or construction activities/ Prior to commencement of grading activities</p>	

Table 4.A: Mitigation and Monitoring Reporting Program

Mitigation Measures	Responsible Party	Timing for Standard Condition or Mitigation Measure	Compliance Verification (date and signature required)
<p>CUL-2: Unknown Paleontological Resources. In the event that paleontological resources are discovered during excavation, grading, or construction activities, work shall cease within 50 feet (ft) of the find until a qualified paleontologist (i.e., a practicing paleontologist that is recognized in the paleontological community and is proficient in vertebrate paleontology) has evaluated the find in accordance with federal, State, and local guidelines. Construction personnel shall not collect or move any paleontological materials and associated materials. Construction activity may continue unimpeded on other portions of the project site. If any fossil remains are discovered in sediments with a Low paleontological sensitivity rating (Young Alluvial Fan Deposits), the paleontologist shall make recommendations as to whether monitoring shall be required in these sediments on a full-time basis. Prior to commencement of grading activities, the City Community and Economic Development Department Director, or designee, shall verify that all project grading and construction plans specify federal, State, and local requirements related to the unanticipated discovery of paleontological resources as stated above.</p>	<p>City Community and Economic Development Department Director, or designee</p>	<p>In the event that paleontological resources are discovered during excavation, grading, or construction activities/ Prior to commencement of grading activities</p>	
<p>CUL-3: Human Remains. In the event that human remains are encountered on the project site, work within 50 ft of the discovery shall cease and the County Coroner notified immediately consistent with the requirements of California Code of Regulations (CCR) Section 15064.5(e). State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to Public Resources Code (PRC) Section 5097.98. If the remains are determined to be Native American, the County Coroner shall notify the Native American Heritage Commission (NAHC), which shall determine and notify a Most Likely Descendant (MLD). With the permission of the property owner, the MLD may inspect the site of the discovery. The MLD shall complete the inspection within 48 hours of being granted access to the site. The MLD may recommend scientific removal and nondestructive analysis of human remains and items associated with Native American burials. Consistent with CCR Section 15064.5(d), if the remains are determined to be Native American and an MLD is notified, the City shall consult with the MLD as identified by the</p>	<p>City of Garden Grove Community and Economic Development Department Director, or designee</p>	<p>In the event that human remains are encountered on the project site</p>	

Table 4.A: Mitigation and Monitoring Reporting Program

Mitigation Measures	Responsible Party	Timing for Standard Condition or Mitigation Measure	Compliance Verification (date and signature required)
<p>NAHC to develop an agreement for treatment and disposition of the remains. Prior to the issuance of grading permits, the City Community and Economic Development Department Director, or designee, shall verify that all grading plans specify the requirements of CCR Section 15064.5(e), State Health and Safety Code Section 7050.5, and PRC Section 5097.98, as stated above.</p>			
<p>4.6 Geology and Soils</p>			
<p>GEO-1: Compliance with Recommendations in the Geotechnical Investigation. All grading operations and construction shall be conducted in conformance with the recommendations included in the geotechnical reports for the project site that have been prepared by Amec Foster Wheeler titled (1) <i>Report of Geotechnical Consultation Proposed House Foods Building Additions, Loading Docks, and Parking Lot 7351 and 7421 Orangewood Avenue, Garden Grove, California</i> (November 27, 2017) and (2) <i>Supplemental Geotechnical Consultation-Stormwater Infiltration Feasibility Proposed House Foods Building Additions, Loading Docks, and Parking Lot 7351 and 7421 Orangewood Avenue, Garden Grove, California</i>, (December 2, 2017). Design, grading, and construction shall be performed in accordance with the requirements of the City of Garden Grove (City) Building Code and the California Building Code (CBC) applicable at the time of grading and construction, the appropriate local grading regulations, and the recommendations of the project geotechnical consultant as summarized in any subsequent written reports. All conditions contained in the geotechnical investigation reports shall be included on the building plans and shall be reviewed and approved by the Director of the City Building Services Division, or appropriate designee, prior to commencement of grading activities.</p>	<p>Director of the City of Garden Grove Building Services Division, or appropriate designee</p>	<p>Prior to commencement of grading activities</p>	
<p>4.7 Greenhouse Gas Emissions</p>			
<p>The proposed project would not result in significant adverse impacts related to greenhouse gas emissions. No mitigation would be required.</p>			

Table 4.A: Mitigation and Monitoring Reporting Program

Mitigation Measures	Responsible Party	Timing for Standard Condition or Mitigation Measure	Compliance Verification (date and signature required)
<p>4-8 Hazards and Hazardous Materials</p> <p>HAZ-1: Abatement of ACMs, LBPs, and PCBs. Wherever evidence of asbestos-containing materials (ACMs), lead-based paint (LBPs), or polychlorinated biphenyl (PCB)-containing electrical fixtures are present in areas proposed for demolition (as documented in the <i>Report of Phase I Environmental Site Assessment Prepared for the House Foods America Corporation located at 7351 Orangewood Avenue, Garden Grove, California 92841</i> [Professional Service Industries, Inc.; November 4, 2016] and the <i>Asbestos & Limited Lead Screening Report Survey</i> [Southland Services; November 14, 2016]), all such materials shall be removed, handled, and properly disposed of by appropriately licensed Construction Contractors according to all applicable regulations during demolition of structures (40 [Code of Federal Regulations] CFR, Subchapter R, Toxic Substances Control Act [TSCA], Parts 745, 761, and 763). During demolition activities (or activities that would remove or disturb ACMs, LBPs, and/or PCBs), air monitoring shall be completed by appropriately licensed and qualified individuals in accordance with applicable regulations both to ensure adherence to applicable regulations (e.g., South Coast Air Quality Management District [SCAQMD]) and to provide safety to workers and the adjacent community. The Project/Applicant shall provide documentation (e.g., all required waste manifests, sampling, and air monitoring analytical results) to the City of Garden Grove Fire Department (GGFD) showing that abatement of any ACMs, LBPs, or PCB-containing electrical fixtures identified in these structures has been completed in full compliance with all applicable regulations and approved by the appropriate regulatory agencies (40 CFR, Subchapter R, TSCA, Parts 716, 745, 761, 763, and 795 and California Code of Regulations [CCR] Title 8, Article 2.6). An Operating & Maintenance Plan (O&M) shall be prepared for any ACMs, LBP, or PCB-containing electrical fixtures to remain in place and shall be reviewed and approved by the GGFD.</p>	<p>Chief of the City of Garden Grove Fire Department, or designee</p>	<p>During demolition activities</p>	

Table 4.A: Mitigation and Monitoring Reporting Program

Mitigation Measures	Responsible Party	Timing for Standard Condition or Mitigation Measure	Compliance Verification (date and signature required)
<p>HAZ-2: Predemolition Surveys and Abatement of Mold. Prior to commencement of demolition activities, the City of Garden Grove (City) Community and Economic Development Department Director, or designee, shall verify that predemolition surveys for mold (including sampling and analysis of all suspected building materials) shall be performed in areas of the buildings designated for demolition or construction. All inspections, surveys, and analyses shall be performed by appropriately licensed and qualified individuals in accordance with applicable regulations. If the predemolition surveys do not find mold, the inspectors shall provide documentation of the inspection and its results to the City Community and Economic Development Department Director, or designee, to confirm that no further abatement actions are required.</p> <p>Wherever evidence of mold exists in areas proposed for demolition, all such materials shall be removed, handled, and properly disposed of by appropriately licensed Construction Contractors according to all applicable regulations during demolition of the structure. All remediation activities, worker protection, engineering controls, and personnel protection equipment will be in compliance with the recommendations in the United States Environmental Protection Agency's "Mold Remediation in Schools and Commercial Buildings" (EPA 402-K-01-001). The Project/Applicant shall provide documentation (e.g., all required waste manifests and sampling) to the City Community and Economic Development Department Director, or designee, confirming that abatement of any mold identified in these structures has been completed.</p>	<p>City of Garden Grove Community and Economic Development Department Director, or designee</p>	<p>Prior to commencement of demolition activities</p>	
<p>HAZ-3: Contingency Plan. Prior to commencement of grading activities, the Chief of the GGFD, or designee, shall review and approve a Contingency Plan that addresses the procedures to be followed should on-site unknown hazards or hazardous substances be encountered during demolition and construction activities. The Contingency Plan shall indicate that if construction workers encounter underground tanks, gases, odors, uncontained spills, or other unidentified substances, the Construction Contractor shall stop work, cordon off the affected area, and notify the GGFD. The GGFD responder shall determine the</p>	<p>Chief of the Garden Grove Fire Department, or designee</p>	<p>Prior to commencement of grading activities</p>	

Table 4.A: Mitigation and Monitoring Reporting Program

Mitigation Measures	Responsible Party	Timing for Standard Condition or Mitigation Measure	Compliance Verification (date and signature required)
<p>next steps regarding possible site evacuation, sampling, and disposal of the substance consistent with local, State, and federal regulations.</p>			
<p>4.9 Hydrology and Water Quality</p>			
<p>Compliance Measure CM-WQ-1: Construction General Permit. Prior to issuance of a grading permit, the Project/Applicant shall obtain coverage under the State Water Resources Control Board (SWRCB) National Pollutant Discharge Elimination System (NPDES) General Permit for Storm Water Discharges Associated with Construction and Land Disturbance Activities (Order No. R4-2014-0024 NPDES Permit No. CAS004003; Construction General Permit). This shall include submission of Permit Registration Documents, including a Notice of Intent (NOI), to the SWRCB via the Storm Water Multiple Application and Report Tracking System (SMARTS) to obtain coverage under the Construction General Permit. The Applicant shall provide the Waste Discharge Identification Number (WDID) to the City of Garden Grove (City) Public Works Director, or appropriate designee, to demonstrate proof of coverage under the Construction General Permit. A Storm Water Pollution Prevention Plan (SWPPP) shall be prepared and implemented for the proposed project in compliance with the requirements of the Construction General Permit. The SWPPP shall identify construction Best Management Practices (BMPs) to be implemented to ensure that the potential for soil erosion and sedimentation is minimized and to control the discharge of pollutants in stormwater runoff as a result of construction activities. Upon completion of construction and stabilization of the project site, the Project/Applicant shall submit a Notice of Termination to the Santa Ana Regional Water Quality Control Board (RWQCB).</p>	<p>City of Garden Grove's Public Works Director, or appropriate designee</p>	<p>Prior to issuance of a grading permit</p>	
<p>Compliance Measure CM-WQ-2: Final Water Quality Management Plan. Prior to the issuance of any grading or building permits, the Project/Applicant shall prepare a Final Water Quality Management Plan (WQMP). The Final WQMP shall be prepared consistent with the North Orange County Municipal Separate Storm Sewer System (MS4) Permit, the County of Orange Technical Guidance Document</p>	<p>City of Garden Grove Public Works Director, or appropriate designee</p>	<p>Prior to the issuance of any grading or building permits</p>	

Table 4.A: Mitigation and Monitoring Reporting Program

Mitigation Measures	Responsible Party	Timing for Standard Condition or Mitigation Measure	Compliance Verification (date and signature required)
<p>(December 2013), the County of Orange Water Quality Management Plan Template (May 2011), and the Drainage Area Management Plan (DAMP) (2003). The Project/Applicant shall provide the Final WQMP to the City of Garden Grove's Public Works Director, or appropriate designee, for review and approval. The Final WQMP shall:</p> <ul style="list-style-type: none"> • Address Site Design BMPs such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas; • Incorporate the applicable Routine Source Control BMPs as defined in the DAMP; • Incorporate Structural and Treatment Control BMPs as defined in the DAMP; • Generally describe the long-term operation and maintenance requirements for the Treatment Control BMPs; • Identify the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs; and • Describe the mechanism for funding the long-term operation of the Treatment Control BMPs. 	<p>City of Garden Grove Public Works Director, or appropriate designee</p>	<p>Prior to grading or building permit closeout and the issuance of a certificate of use or a certificate of occupancy</p>	
<p>Compliance Measure CM-WQ-3: Best Management Practices. Prior to grading or building permit closeout and the issuance of a certificate of use or a certificate of occupancy, the Project/Applicant shall submit an Operations and Maintenance (O&M) Plan for all structural BMPs to the City Community and Economic Development Department Director, or appropriate designee, for review and approval. Additionally, the Project/Applicant shall demonstrate to the satisfaction of the City of Garden Grove's Public Works Director, or appropriate designee, that:</p>			

Table 4.A: Mitigation and Monitoring Reporting Program

Mitigation Measures	Responsible Party	Timing for Standard Condition or Mitigation Measure	Compliance Verification (date and signature required)
<ul style="list-style-type: none"> All structural BMPs described in the Final WQMP have been constructed and installed in conformance with approved plans and specifications; The Applicant is prepared to implement all non-structural BMPs described in the Final WQMP; and An adequate number of copies of the approved project WQMP are available on site. 			
<p>Compliance Measure CM-WQ-4: Industrial General Permit. Prior to the completion of construction, the Project/Applicant shall provide proof to the City of Garden Grove's Public Works Director, or appropriate designee, that they have retained a Qualified Industrial Storm Water Practitioner (QISP) to revise the existing operational SWPPP for the project site in compliance with the requirements of the General Permit for Storm Water Discharges Associated with Industrial Activities (Order No. 2014-0057-DWQ, NPDES No. CAS000001). The Applicant shall comply with all applicable provisions in the permit, including implementation of the operational SWPPP, implementation of BMPs, water sampling, analysis, and reporting of stormwater discharges. The Applicant shall submit the revised operational SWPPP to the SWRCB via SMARTS.</p>	<p>City of Garden Grove Public Works Director, or appropriate designee</p>	<p>Prior to the completion of construction</p>	
<p>Compliance Measure CM-WQ-5: Hydrology Report. Prior to issuance of grading permits, the Project/Applicant shall submit a final Hydrology Report, or equivalent, to the City Community and Economic Development Department Director, or appropriate designee, for review and approval. The hydrology report shall demonstrate, based on hydrologic calculations, that the project's on-site storm conveyance and retention facilities are designed in accordance with the requirement of the Orange County Public Works <i>Orange County Hydrology Manual</i> (October 1986, Addendum 1996).</p>			
<p>4.10 Land Use/Planning</p>			
<p>The proposed project would not result in significant adverse impacts related to land use/planning. No mitigation would be required.</p>			

Table 4.A: Mitigation and Monitoring Reporting Program

Mitigation Measures	Responsible Party	Timing for Standard Condition or Mitigation Measure	Compliance Verification (date and signature required)
4.11 Mineral Resources			
The proposed project would not result in significant adverse impacts related to mineral resources. No mitigation would be required.			
4.12 Noise			
<p>Compliance Measure CM-NOI-1: Construction Hours. Construction activities occurring as part of the project shall be subject to the limitations and requirements of the City of Garden Grove Municipal Code, which states that construction activities shall occur only between the hours of 7:00 a.m. and 10:00 p.m.</p>	City of Garden Grove Community and Economic Development Department Director, or designee	During construction activities	
<p>CM-NOI-2: Construction Noise. Prior to issuance of building permits, the City of Garden Grove (City) Community and Economic Development Department Director, or designee, shall verify that grading and construction plans include the following requirement to ensure that the greatest distance between noise sources and sensitive receptors during construction activities has been achieved:</p> <ul style="list-style-type: none"> • During all project area excavation and on-site grading, the Construction Contractors shall equip all construction equipment, fixed or mobile, with properly operating and maintained mufflers consistent with manufacturers' standards. 	City of Garden Grove Community and Economic Development Department Director, or designee	Prior to issuance of building permits	
4.13 Population and Housing			
The proposed project would not result in significant adverse impacts related to population and housing. No mitigation would be required.			
4.14 Public Services and Utilities			
The proposed project would not result in significant adverse impacts related to public services and utilities. No mitigation would be required.			
4.15 Recreation			
The proposed project would not result in significant adverse impacts related to recreation. No mitigation would be required.			

Table 4.A: Mitigation and Monitoring Reporting Program

Mitigation Measures	Responsible Party	Timing for Standard Condition or Mitigation Measure	Compliance Verification (date and signature required)
<p>4.16 Transportation/Traffic</p> <p>TRF-1: Construction Staging and Traffic Management Plan. Prior to the issuance of a grading permit, a Construction Staging and Traffic Management Plan (CSTMP) shall be prepared for approval by the City of Garden Grove Traffic Engineer, or designee, and shall be implemented during project construction. The CSTMP will also include the name and phone number of a contact person who can be reached 24 hours per day regarding construction traffic complaints or emergency situations. In addition, the CSTMP shall take into account and include coordination with other construction staging and traffic management plans that are in effect or have been proposed for other projects in the City of Garden Grove. The CSTMP may include, but not be limited to, the following:</p> <ul style="list-style-type: none"> • Construction activities shall be scheduled to reduce the effect on traffic flow on arterial streets. • Construction trucks shall be rerouted to reduce travel on congested streets. • The Construction Contractor shall keep haul routes clean and free of debris including but not limited to gravel and dirt as a result of its operations. The Construction Contractor shall clean adjacent streets, as directed by the City Traffic Engineer, or designee, of any material, which may have been spilled, tracked, or blown onto adjacent streets or areas. • If hauling or construction operations cause any damage to existing pavement, streets, curbs, and/or gutters along the haul route, the Project/Applicant shall be fully responsible for repairs. The repairs shall be completed to the satisfaction of the City Director of Public Works, or designee. • Construction vehicles, including construction personnel vehicles, shall not park on public streets. • Construction vehicles shall not stage or queue where they interfere with 	<p>City of Garden Grove Traffic Engineer, or designee</p>	<p>Prior to the issuance of a grading permit</p>	

Table 4.A: Mitigation and Monitoring Reporting Program

Mitigation Measures	Responsible Party	Timing for Standard Condition or Mitigation Measure	Compliance Verification (date and signature required)
<p>pedestrian and vehicular traffic or block access to nearby businesses.</p> <ul style="list-style-type: none"> • If necessary, a California Department of Transportation (Caltrans) permit shall be obtained for use of oversized transport vehicles on Caltrans facilities. • Construction-related deliveries, other than concrete and earthwork-related deliveries, shall be scheduled to reduce travel during peak travel periods (i.e., 6:00 a.m. to 9:00 a.m. and 3:30 p.m. to 7:00 p.m. Monday through Friday). • If feasible, any traffic lane closures will be limited to off-peak traffic periods, as approved by the City Public Works Department. • Coordination with other construction projects in the vicinity to minimize conflicts. • The Garden Grove Police Department (GGPD) and the Garden Grove Fire Department (GGFD) shall be notified a minimum of 24 hours in advance of any lane closures or other roadway work. • The Garden Grove Unified School District (GGUSD) shall be notified in advance of any lane closures. • The Orange County Transportation Authority (OCTA) shall be notified a minimum of 24 hours in advance of any lane closures or other roadway work. • Temporary traffic control provisions shall be implemented consistent with the recommendations of the California Joint Utility Traffic Control Manual (2014) during all construction activities adjacent to public right-of-way to improve traffic flow on public roadways (e.g., flag persons). • Flag persons in adequate numbers shall be provided to minimize impacts to traffic flow and to ensure the safe access into and out of the site. 			

Table 4.A: Mitigation and Monitoring Reporting Program

Mitigation Measures	Responsible Party	Timing for Standard Condition or Mitigation Measure	Compliance Verification (date and signature required)
<ul style="list-style-type: none"> Flag persons shall be trained to assist in emergency response by restricting or controlling the movement of traffic that could interfere with emergency vehicle access. All emergency access to the project site and adjacent areas shall be kept clear and unobstructed during all phases of demolition and construction. <p>In the event that any of the measures included in the CSTMP are violated, the contact person identified on the CSTMP shall immediately notify the City of Garden Grove Traffic Engineer, or designee.</p>			
4.17 Tribal Cultural Resources			
<p>TCR-1: Tribal Cultural Resources: Monitoring Procedures. Prior to commencement of any grubbing or grading activities, the Project/Applicant shall present evidence to the City of Garden Grove (City) Community and Economic Development Department Director, or designee, that a qualified Native American monitor has been retained to provide Native American monitoring services for any construction activities that may disturb native soils. The Native American monitor shall be selected by the Project/Applicant from the list of certified Native American monitors maintained by the Gabrieleno Band of Mission Indians – Kizh Nation. If multiple tribal groups request to participate in monitoring, a rotation shall be established and the archaeologist shall be responsible to ensure work is distributed as equitably as possible. The Native American monitor shall be present at the pre-grading conference to establish procedures for tribal cultural resource surveillance. Those procedures shall include provisions for temporarily halting or redirecting work to permit sampling, identification, and evaluation of resources deemed by the Native American monitor to be tribal cultural resources as defined in Public Resources Code Section 21074. These procedures shall be reviewed and approved by the City Community and Economic Development Department Director, or designee, prior to commencement of any surface disturbance on the project site. If prehistoric cultural resources are recovered, all tribal groups</p>	City of Garden Grove Community and Economic Development Director, or designee	Prior to commencement of any grubbing or grading activities	

Table 4.A: Mitigation and Monitoring Reporting Program

Mitigation Measures	Responsible Party	Timing for Standard Condition or Mitigation Measure	Compliance Verification (date and signature required)
<p>participating in the monitoring shall have input in regard to treatment and all materials will be reburied on site at a location deep enough not to be disturbed in the future. Native American monitoring shall cease if bedrock or loose sediments that can be demonstrated to be more than 10,000 years old are encountered.</p>			
<p>4.18 Utilities/Service Systems</p>			
<p>The proposed project would not result in significant adverse impacts related to utilities and service systems. No mitigation would be required.</p>			

EXHIBIT "B"

Site Plan No. SP-054-2018 Lot Line Adjustment No. LLA-015-2018

7351 and 7421 Oranewood Avenue

CONDITIONS OF APPROVAL

General Conditions

1. The applicant and each owner of the property shall execute, and the applicant shall record a "Notice of Agreement with Conditions of Approval and Discretionary Permit of Approval," as prepared by the City Attorney's Office, on the property. All Conditions of Approval set forth herein, or contained in Resolution No. 5927-18, shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to each of the following: the project applicant, House Foods Holding USA, Inc., Corporation, the developer of the project, the owner(s) and tenants(s) of the property, and each of their respective successors and assigns. All Conditions of Approval are required to be adhered to for the life of the project, regardless of property ownership. Except for minor modifications approved by the Community and Economic Development Director pursuant to Condition No. 3, below, any changes to the Conditions of Approval require approval by the Planning Commission. All Conditions of Approval herein shall apply to Site Plan No. SP-054-2018 and Lot Line Adjustment No. LLA-015-2018, so long as the improvements authorized and contemplated by Site Plan No. SP-054-2018 and Lot Line Adjustment No. LLA-015-2018 and these Conditions of Approval continue to exist on the Site.
2. Approval of this Site Plan shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
3. Minor modifications to the Site Plan and/or these Conditions of Approval, which do not materially change the scope or intensity of the project and which will not result in impacts that have not previously been addressed, may be approved by the Community and Economic Development Director, in his or her discretion. Proposed modifications to the project, approved site plan, floor plan, and/or these Conditions of Approval determined by the Community and Economic Development Director not to be minor in nature shall be subject to approval of new and/or amended land use entitlements by the applicable City hearing body.
4. All conditions of approval shall be implemented at the applicant's expense, except where otherwise expressly specified in the individual condition.

Public Works Engineering Division

5. The applicant shall be subject to Traffic Mitigation Fees, Drainage Facilities Fees, Water Assessment Fees, and other applicable mitigation fees identified in Chapter 9.44 of the Garden Grove Municipal Code, along with all other applicable fees duly adopted by the City. The amount of said fees shall be calculated based on the City's current fee schedule at the time of permit issuance.
6. A geotechnical study prepared by a registered geotechnical engineer is required. The report shall analyze the liquefaction potential of the site and make recommendations. The report shall analyze sub-surface issues related to the past uses of the site, including sub-surface tanks and basement and septic facilities. Any soil or groundwater contamination shall be remediated prior to the issuance of a building permit in a manner meeting the approval of the City Engineer in concert with the Orange County Health Department. The report shall make recommendations for pavement design the interior streets and parking spaces. The report shall also test and analyze soil conditions for LID (Low Impact Development) principles and implementations, including potential infiltration alternatives, soil compaction, saturation, permeability and groundwater levels.
7. Grading/street improvement plans prepared by a registered Civil Engineer are required. The grading plan shall be based on a current survey of the site, including a boundary survey, topography on adjacent properties up to 30' outside the boundary, and designed to preclude cross lot drainage. Minimum grades shall be 0.50% for concrete flow lines and 1.25% for asphalt. The grading plan shall also include water and sewer improvements. The grading plan shall include a coordinated utility plan. Street improvement plan shall conform to all format and design requirements of the City Standard Drawings & Specifications.
8. Grading fees shall be calculated based on the current fee schedule at the time of permit issuance.
9. The grading plan shall depict an accessibility route for the ADA pathway in conformance with the requirements of the Department of Justice standards, latest edition.
10. A separate street permit is required for work performed within the public right-of-way.
11. All vehicular access drives to the site shall be provided in locations approved by the City Traffic Engineer.
12. All parking spaces that abut to sidewalks that are not elevated with a curb face to the stall, if any, shall have wheel stops.

13. No parallel curb parking shall be permitted anywhere on the site.
14. Prior to issuance of a grading permit, the applicant shall design overhead street lighting within the development in a manner meeting the approval of the City Engineer. Location of lighting poles shall be shown on the precise grading plans.
15. In accordance with the Orange County Storm Water Program manual, the applicant and/or its contractors shall provide dumpsters on-site during construction unless an Encroachment Permit is obtained for placement in street.
16. Prior to the issuance of any grading or building permits or prior to recordation upon subdivision of land if determined applicable by the City Building Official, the applicant shall submit to the City for review and approval a Water Quality Management Plan that:
 - a. Addresses Site Design BMPs based upon the geotechnical report recommendations and findings such as infiltration minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas;
 - b. Incorporates the applicable Routine Source Control BMPs as defined in the DAMP;
 - c. Incorporates structural and Treatment Control BMPs as defined in the DAMP;
 - d. Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs;
 - e. Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs;
 - f. Describes the mechanism for funding the long-term operation and maintenance of the Treatment Control BMPs.
17. Prior to grading or building permit closeout and/or the issuance of a certificate of use or a certificate of occupancy, the applicant shall:
 - a. Demonstrate that all structural best management practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications;

- b. Demonstrate that applicant is prepared to implement all non-structural BMPs described in the Project WQMP;
 - c. Demonstrate that an adequate number of copies of the approved Project WQMP are available on-site;
 - d. Submit for review and approval by the City an Operations and Maintenance (O&M) Plan for all structural BMPs.
18. All trash container areas shall meet the following requirements per City of Garden Grove Standard B-502 and state mandated commercial organic recycling law-AB 1826:
- a. Paved with an impervious surface, designed not to allow run-on from adjoining areas, designed to divert drainage from adjoining roofs and pavements diverted around the area, screened or walled to prevent off-site transport of trash;
 - b. Provide solid roof or awning to prevent direct precipitation;
 - c. Connection of trash area drains to the municipal storm drain system is prohibited;
 - d. Potential conflicts with fire code and garbage hauling activities should be considered in implementing this source control;
 - e. See CASQA Storm Water Handbook Section 3.2.9 and BMP Fact Sheet SD-32 for additional information;
 - f. The trash shall be located to allow pick-up and maneuvering, including turnarounds, in the area of enclosures;
 - g. Pursuant to state mandated commercial organic recycling law-AB 1826, the applicant is required to coordinate storage and removal of the organics waste with local recycling/trash company.
19. The applicant and his contractor shall be responsible for protecting all existing horizontal and vertical survey controls, monuments, ties (centerline and corner) and benchmarks located within the limits of the project. If any of the above require removal; relocation or resetting, the Contractor shall, prior to any construction work, and under the supervision of a California licensed Land Surveyor, establish sufficient temporary ties and benchmarks to enable the points to be reset after completion of construction. Any ties, monuments and bench marks disturbed during construction shall be reset per Orange County Surveyor Standards after construction. Applicant and his contractor shall also re-set the tie monuments where curb or curb ramps are removed and replaced

or new ramps are installed. The Applicant and his contractor shall be liable for, at his expense, any resurvey required due to his negligence in protecting existing ties, monuments, benchmarks or any such horizontal and vertical controls.

20. Prior to issuance of a grading permit, the applicant shall submit to planning division an updated title report along with copies of the recorded instruments listed in the title report, reference maps used to prepare legal description and the plat for review and approval of the lot line adjustment application.
21. Prior to the issuance of any grading or building permits for projects that will result in soil disturbance of one acre or more of land, the applicant shall demonstrate that coverage has been obtained under California's General Permit for Stormwater Discharges Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number. Projects subject to this requirement shall prepare and implement a Stormwater Pollution Prevention Plan (SWPPP). A copy of the current SWPPP shall be kept at the project site and be available for City review on request.
22. Any new or required block walls and/or retaining walls shall be shown on the grading plans. Cross sections shall show vertical and horizontal relations of improvements and property line. Block walls shall be designed in accordance to City standards or designed by a professional registered engineer. In addition, the following shall apply:
 - a. The color and material of all proposed block walls, columns, and wrought iron fencing shall be approved by the Planning Services Division Prior to installation.
23. The applicant shall identify a temporary parking site(s) for construction crew and construction trailers office staff prior to issuance of a grading permit. No construction parking is allowed on local streets.
24. Prior to issuance of a grading permit, the applicant submit and obtain approval of a work-site traffic control plan, satisfactory to the City Traffic Engineer.
25. Heavy construction truck traffic and hauling trips should occur outside peak travel periods. Peak travel periods are considered to be from 7 a.m. to 9 a.m. and 4 p.m. to 6 p.m.
26. Any required lane closures should occur outside of peak travel periods.
27. Construction vehicles should be parked off traveled roadways in a designated parking.

28. Prior to issuance of a grading permit, the applicant shall provide a hydrological analysis with scaled map and calculations and hydraulic calculations to size storm drains per the Orange County RDMD standards. Parkway culverts shall be designed per Orange County standard plan 1309, Type B. BMP's shall be sized per the requirements of the latest Technical Guidance Documents.
29. Prior to issuance of the a building permit, the applicant shall design and construct street frontage improvements as identified below:

Western Avenue

- a. The applicant shall remove the southerly drive approaches on Western Avenue and construct new curb, gutter and landscape per approved grading/street improvement plans.
- b. Construct 8-inch curb and gutter replacing the southerly driveway approach along the property frontage at 32' from centerline in accordance with City Standard Plan B-114 (Type C-8).
- c. The applicant shall remove and re-construct northerly drive approach on Western Avenue in accordance with City of Garden Grove Standard Plan B-121. Standard Plan B-121 calls for a minimum width of 30-feet for commercial projects, with any deviation from the standard to be approved by the City Traffic Engineer and detailed on the plan showing all modifications.
- d. Applicant shall coordinate the location of all new water meters, backflow preventers and backflow devices to be placed in sidewalk/landscape area on Harbor Boulevard with Planning Division and Water Division.
- e. Any proposed new landscaping in public right of way shall be approved by Planning Division and maintained by the owner.

Orangewood Avenue

- a. The applicant shall remove the easterly drive approaches on Orangewood Avenue and construct new curb, gutter, and landscape per approved grading/street improvement.
- b. Construct 8-inch curb and gutter replacing the easterly driveway approach along the property frontage at 26' from centerline in accordance with City Standard Plan B-114 (Type C-8).
- c. Applicant shall coordinate the location of all new water meters, backflow preventers and backflow devices to be placed in sidewalk area on Woodbury Road with Planning Division and Water Division.

- d. Any proposed new landscaping in public right of way shall be approved by Planning Division and maintained by the owner.

Public Works Water Services Division

Water Conditions:

30. This location is capacity deficient. The City will be designing and replacing existing sewer coinciding with this project. Developer's engineer shall coordinate new sewer connection(s) with Water Engineering's Associate Engineer, who will be overseeing the design of the sewer main upgrade on Orangewood Avenue.
31. New water service installations 2" and smaller, shall be installed by the City of Garden Grove at owner's/developer's expense. Installation shall be scheduled upon payment of applicable fees, unless otherwise noted. Fire services and larger water services 3" and larger, shall be installed by developer/owner's contractor per City Standards.
32. Water meters shall be located within the Orangewood Avenue right-of-way. Fire services and large water services 3" and larger, shall be installed by contractor with Class A or C-34 license, per City water standards and inspected Water Services inspector.
33. A Reduced Pressure Principle Device (RPPD) backflow prevention device shall be installed for meter protection. The landscape system shall also have RPPD device. Any carbonation dispensing equipment shall have a RPPD device. Installation shall be per City Standards and shall be tested by a certified backflow device tester immediately after installation. Cross connection inspector shall be notified for inspection after the installation is completed. Owner shall have RPPD device tested once a year thereafter by a certified backflow device tester and the test results to be submitted to Public Works, Water Services Division. Property owner must open a water account upon installation of RPPD device.
34. It shall be the responsibility of owner/developer to abandon any existing private water well(s) per Orange County Health Department requirements. Abandonment(s) shall be inspected by Orange County Health Department inspector after permits have been obtained.
35. A composite utility site plan shall be part of the water plan approval.
36. There shall be a minimum 15-foot clearance of building footings from water main. Clearances less than 15 feet shall be reviewed and approved by Water Engineering.
37. There shall be no structures or utilities built on or crossing water or sewer main easements.

38. New utilities shall have a minimum 5-foot horizontal and a minimum 1-foot vertical clearance from water main and appurtenances.
39. There shall be a minimum clearance from sewer main and water main of 10 feet from outside of pipe to outside of pipe.
40. Any new or existing water valve located within new concrete driveway or sidewalk construction shall be reconstructed per City Standard B-753.
41. City shall determine if existing water services(s) is/are usable and meets current City Standards. Any existing meter and service located within new driveway(s) shall be relocated at owner's expense.
42. Fire service shall have above ground backflow device with a double check detector assembly (DCDA). Any existing vaulted fire service connection shall be updated to a DCDA. Device shall be tested immediately after installation and once a year thereafter by a certified backflow device tester and the results to be submitted to Public Works, Water Services Division. Device shall be on private property and is the responsibility of the property owner. The above ground assembly shall be screened from public view as required by the Planning Division.
43. Location and number of fire hydrants shall be as required by Water Services Division and the Fire Department.

Sewer Conditions:

44. A properly sized grease interceptor shall be installed on the sewer lateral and maintained by the property owner. There shall be a separate sanitary waste line that will connect to the sewer lateral downstream of the grease interceptor. All other waste lines shall be drained through the grease interceptor. Grease interceptor shall be located outside of the building and accessible for routine maintenance. Owner shall maintain comprehensive grease interceptor maintenance records and shall make them available to the City of Garden Grove upon demand.
45. Food grinders (garbage disposal devices) are prohibited per Ordinance 6 of the Garden Grove Sanitary District Code of Regulations. Any existing units are to be removed.
46. Owner shall install new sewer lateral with clean out at right-of-way line. Lateral in public right-of-way shall be 6" min. dia., extra strength VCP with wedgelock joints.
47. Contractor shall abandon any existing unused sewer lateral(s) at street right-of-way on the property owner's side. The sewer pipe shall be capped with an expansion sewer plug and encased in concrete.

Fire Department

48. The applicant shall submit sprinkler/fire alarm plans to comply with the 2016 Edition of the California Fire Code.
49. The applicant shall provide on-site fire hydrants subject to the review and approval by the Fire Department.
50. The project shall comply with high-piled combustible storage commodities per the 2016 edition of the California Fire Code.
51. The applicant shall paint a 25'-0" wide crosshatched and delineated fire lane, which circulates through the development, with access from Orangewood Avenue and Western Avenue, for fire truck emergency access. Additionally, the fire lane shall be free and clear of vehicles, storage, or other equipment, at all times.

Building and Safety Division

52. The proposed building shall comply with the 2016 Edition of the California Building Code (CBC) Standards.
53. The applicant shall provide the occupant load analysis complying with the 2016 Edition of the California Building Code (CBC), Section 1004.
54. For unlimited building area, the proposed building shall have 60-foot yards clear around, or be fully sprinklered, per the 2016 Edition of the California Building Code (CBC), Section 903.
55. The applicant shall provide the occupancy separation per the 2016 Edition of the California Building Code (CBC), Table 508.4.
56. The applicant shall provide an exiting plan that shows the common path of egress travel distance to comply with the 2016 Edition of the California Building Code (CBC) Section 1006. The exit access travel distance shall comply with Section 1017 of the CBC.
57. The applicant shall provide enlarged details of accessible parking to comply with the 2016 Edition of the California Building Code (CBC), Chapter 11B Division 5.
58. Accessible parking spaces shall be dispersed and located on the shortest accessible route to accessible entrances.
59. The proposed building expansion shall meet the solar ready requirements per the 2016 Edition of the California Energy Code, Section 110.10(b).

60. If the project is anticipated to generate visitor traffic, the applicant shall provide permanently anchored bicycle racks per the 2016 Edition of the California Green Building Code, Section 5.106.4.1.1.
61. The applicant shall provide secure bicycle parking for 5% of the vehicle parking spaces being added per 2016 Edition of the California Green Building Code, Section 5.106.4.1.2.
62. The applicant shall provide designated parking spaces for any combination of low-emitting, fuel-efficiency, and carpool or van pool vehicles, per the 2016 Edition of the California Green Building Code, Table 5.106.5.2.
63. The applicant shall demonstrate compliance with construction waste reduction, disposal, and recycling, per the 2016 Edition of the California Green Building Code, Section 5.408.
64. For new construction 10,000 square-feet or greater, building commissioning shall be included in the design and construction processes per the 2016 Edition of the California Green Building Code, Section 5.410.2. The commissioning plan shall be submitted for review at time of building permit application.

Planning Services Division

65. The applicant shall submit a detailed landscape and irrigation plan of all landscape areas. The plan shall be submitted to and be approved by the Community and Economic Development Department, Planning Services Division prior to the issuance of any permit for construction. Said plan shall include substantial plantings that create a natural setting and include type (both common and botanical names), size, location, and quantity of all plant material. The landscaping shall be planted prior to the finalization of the permit for construction. The landscape plan shall also include the following:
 - a. The landscaping plan shall comply with all the landscaping requirements as specified in Title 9 of the City of Garden Grove Municipal Code. All landscape irrigation shall comply with the City's Landscape Ordinance and associated Water Efficiency Guidelines.
 - b. Trees planted within ten (10) feet of any public right-of-way shall be planted in a root barrier shield. All landscaping along street frontages adjacent to driveways shall be of the low height variety to ensure safe sight clearance. No street trees will be planted in the sidewalk, unless required by the City's Public Works Department. The landscape plan shall maximize the plantings along the perimeter wall where planters are possible. There shall be vine plantings along the length of the perimeter walls. The vines shall be mainly perennial and evergreen with some flowering, deciduous types interspersed.
 - c. The new landscape areas shall reflect the existing character of the site.

- d. A complete, permanent, and automatic remote control irrigation system shall be provided for all landscape areas shown on the plan. Subsurface irrigation systems are encouraged. The irrigation plan for any trees planted in the setback areas adjacent to the sidewalks and in the parking lot shall have a deep-water irrigation system that shall be specified on the landscape plan. A detail of the deep-water irrigation system shall be provided for review. If sprinklers are used in other areas, they shall be low flow/precipitation sprinkler heads for water conservation.
 - e. All above ground utilities (e.g., water backflow devices, electrical transformers, irrigation equipment, etc.) shall be shown on the landscaping plan and shall be screened from view by appropriate plantings.
 - f. The applicant is responsible for the installation of all landscaping, irrigation, and other site improvements on the property. Said responsibility shall extend to all landscaped areas, the landscape setbacks, sidewalk, curb, and pavement of the site.
66. Hours and days of construction and grading shall be as follows as set forth in the City of Garden Grove's Municipal Code Section 8.47.010 referred to as the County Noise Ordinance as adopted:
- a. Monday through Saturday - not before 7 a.m. and not after 8 p.m. (of the same day).
 - b. Sunday and Federal Holidays may work same hours, but subject to noise restrictions as stipulated in section 8.47.010 of the Municipal Code.
67. The approval and effectiveness of Site Plan No. SP-054-2018 shall be expressly contingent upon the effectiveness and recordation, by the County Surveyor's Office, of Lot Line Adjustment No. LLA-015-2018.
68. All lighting structures shall be placed so as to confine direct rays to the subject property. All exterior lights shall be reviewed and approved by the Planning Services Division. Lighting shall be provided throughout all private drive aisles and entrances to the development per City standards for street lighting.
69. The applicant shall comply with the adopted City Noise Ordinance.
70. The applicant shall submit detailed plans showing the proposed location of utilities and mechanical equipment to the Community and Economic Development Department for review and approval prior to Building and Safety Division plan check. The project shall also be subject to the following:

- a. All on-site and off-site utilities (off-site refers to the areas within public right-of-way to the center line of the streets adjacent to the subject property) within the perimeter of the site and to the centerline of the adjacent streets shall be installed or relocated underground.
 - b. All above-ground utility equipment (e.g., electrical, gas, telephone) shall not be located in the street setbacks and shall be screened to the satisfaction of the Community and Economic Development Department, Planning Services Division.
 - c. No roof-mounted mechanical equipment, including, but not limited to, dish antennas, shall be permitted unless a method of screening complementary to the architecture of the building is approved by the Community and Economic Development Department prior to the issuance of building permits. Said screening shall block visibility of any roof-mounted mechanical equipment from view of public streets and surrounding properties.
 - d. All ground- or wall-mounted mechanical equipment shall be screened from view from any place on or off the site.
71. The applicant/property owner shall abate all graffiti vandalism within the premises. The property owner shall implement best management practices to prevent and abate graffiti vandalism within the premises throughout the life of the project, including, but not limited to, timely removal of all graffiti, the use of graffiti resistant coatings and surfaces, the installation of vegetation screening of frequent graffiti sites, and the installation of signage, lighting, and/or security cameras, as necessary. Graffiti shall be removed/eliminated by the property owner as soon as reasonably possible after it is discovered, but not later than 72 hours after discovery.
 72. Any satellite dish antennas installed on the premises shall be screened, subject to approval by the Community and Economic Development Department, Planning Division. No advertising material shall be placed thereon.
 73. No outside display of merchandise shall be permitted at any time.
 74. A prominent, permanent sign, stating "NO LOITERING IS ALLOWED ON OR IN FRONT OF THE PREMISES," shall be posted in a place that is clearly visible to patrons of the licensee. The sign lettering shall be four (4) to six (6) inches high with black letters on a white background. The sign shall be displayed near or at the entrance, and shall also be visible to the public.
 75. Litter shall be removed daily from the premises, including adjacent public sidewalks, and from all parking areas under the control of the licensee. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.

76. Exterior advertisements, displays, or exterior wall advertisements shall not be allowed.
77. The applicant shall repair and/or replace any damaged slats on existing chain-link fencing. Slats shall be provided on all proposed chain-link fencing and rolling vehicular gate to match the existing fencing and to provide screening from the public right-of-way.
78. Construction activities shall adhere to SCAQMD Rule 403 (Fugitive Dust) that includes dust minimization measures, the use of electricity from power poles rather than diesel or gasoline powered generators, and the use methanol, natural gas, propane or butane vehicles instead of gasoline or diesel powered equipment, where feasible. Also, use of solar, low-emission water heaters, and low-sodium parking lot lights, shall be required to ensure compliance with Title 24.
79. Building color and material samples shall be submitted to the Planning Services Division for review and approval prior to issuance of building permits. The elevation of the proposed addition shall match the color, wall texture, window glazing, and window mullions of the existing industrial buildings. Final approval of the elevation will be subject to the review by the Planning Division.
80. The vehicular security fencing/gate shall be installed to meet Public Works Engineering Division and Fire Department requirements.
81. All landscaped areas, including the areas located within the public right-of-way, are the responsibility of the applicant/property owner, and must be maintained at all times. All landscape areas shall not be reduced in size.
82. The applicant shall re-configure the parking layout and provide additional parking per the submitted site plan, which will provide a minimum of 355 parking spaces. Adequate parking spaces to accommodate the addition, in an amount no less than the minimum amount required by Planned Unit Development No. PUD-103-76, shall be maintained at all times, and failure to do so shall constitute a violation of these Conditions of Approval.
83. During construction, if paleontological or archaeological resources are found, all attempts will be made to preserve in place or leave in an undisturbed state in compliance with applicable laws and regulations.
84. The applicant shall implement the Mitigation Monitoring and Reporting Program as identified in the Mitigated Negative Declaration, and shall provide updates about the implementation process to the City of Garden Grove Community and Economic Development Department until completion of the project.
85. Unless a time extension is granted pursuant to Section 9.32.160 of Title 9 of the Municipal Code, the project authorized by this approval of Site Plan No.

SP-054-2018 and Lot Line Adjustment No. LLA-015-2018 shall become null and void if the subject use or construction necessary and incidental thereto is not commenced within one (1) year of the expiration of the appeal period for this approval and thereafter diligently advanced until completion of the project.

86. The applicant shall, as a condition of Project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Site Plan No. SP-054-2018 and Lot Line Adjustment No. LLA-015-2018 (collectively, the "Project entitlements"). The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award, which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.
87. The applicant shall submit a signed letter acknowledging receipt of the decision approving Site Plan No. SP-054-2018 and Lot Line Adjustment No. LLA-015-2018, and his/her agreement with all conditions of the approval.
88. A copy of the resolution, including the conditions approving Site Plan No. SP-054-2018 and Lot Line Adjustment No. LLA-015-2018, shall be kept on the premises at all times.

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.4.	SITE LOCATION: Existing and new street lights in the public right-of-way owned by Southern California Edison
HEARING DATE: July 19, 2018	GENERAL PLAN: Various
CASE NO.: Conditional Use Permit No. CUP-135-2018	ZONE: Various
APPLICANT: AT&T Mobility, LLC	APN: Various
OWNER: Southern California Edison	CEQA DETERMINATION: Exempt

REQUEST:

The applicant is requesting Conditional Use Permit (CUP) approval to allow for the installation and operation of nine (9) citywide small wireless telecommunication facilities disguised as street light poles (6), attached to wood utility poles (2), and installed as a new street light pole (1), along with related below grade or internally concealed meters, attached equipment, and site improvements. The existing street lights and wood utility poles in the City’s public right-of-way are owned by Southern California Edison. The street lights will be removed and replaced with the new street light poles, the wood utility poles will remain, and one (1) new street light will be installed. All poles would include small wireless telecommunication facilities.

BACKGROUND:

The subject sites are parkways located within the City’s public right-of-way at various citywide locations. The sites are improved with existing street light poles owned and operated by Southern California Edison. A map showing the location of the nine (9) proposed sites has been included in this report.

The subject sites are zoned in R-1 (Single-Family Residential), R-3 (Multiple-Family Residential, GGMU-2 (Garden Grove Mixed Use 2), OS (Open Space), PUD (Planned Unit Development), HCSP-TS (Harbor Corridor Specific Plan – Transition South), and HCSP-OP (Harbor Corridor Specific Plan – Office Professional) and have General Plan Land Use Designations of Low Density Residential, Low Medium Density Residential, Medium Density Residential, Residential/Commercial Mixed Use 2, Civic/Institutional, and International West Mixed Use. Below is a street light pole table that provides information on ownership, location, and identification.

OWNER/ POLE MANAGEMENT	PROXIMITY	US ID	POLE ID	POLE TYPE/ LUMINAIRE
Southern California Edison	1. Public right-of-way, west side of West Street, between College Avenue and Dunklee Lane	189155	1192475E	Street Pole/ Single
Southern California Edison	2. Public right-of-way, east side of Bayport Street, between Balboa Avenue and Chapman Avenue	189140	1575260E	Street Pole/ Single
Southern California Edison	3. Public right-of-way, east side of Rancho Way, between Clinton Street and Trask Avenue	189151	2340778E	Street Pole/ Single
Southern California Edison	4. Public right-of-way, median, on Garden Grove Boulevard, between Palm Street and Blackbird Street	189153	2083224E	Street Pole/ Double
Southern California Edison	5. Public right-of-way, median, on Garden Grove Boulevard, between Lemonwood Land and Rockinghorse Road	189150	4264212E	Street Pole/ Double
Southern California Edison	6. Public right-of-way, median, on Harbor Boulevard, between Flagstone Avenue and Banner Drive	189152	4288389E	Street Pole/ Double
Southern California Edison/ Joint Pole Authority	7. Public right-of-way, south side of Lampson Avenue, between Jetty Street and Haster Street	189137	4560230E	Utility Pole/ Single
Southern California Edison/ Joint Pole Authority	8. Public right-of-way, north side of Harbor Boulevard, between Buaro Street and Harbor Boulevard	189154	1448003E	Utility Pole/ No Luminaire
South California Edison	9. Public right-of-way, west side of Rainbow Street, between Garden Grove Boulevard and Granite Circle	188516	None	Street Pole/ Single

Based on the subject sites, none of the proposed wireless telecommunication facilities are located within five hundred feet (500'-0") of property owned or rented by a Planning Commissioner.

The authority of cities to regulate the placement of wireless telecommunication facilities within the public right-of-way is limited by applicable state and federal law; however, a city may exercise reasonable control as to the time, place, and manner of construction within the public right-of-way, may impose aesthetic requirements on proposed facilities, and may require a use permit. Pursuant to Chapter 9.24 of the Garden Grove Municipal Code, Conditional Use Permit approval is required for all new stealth wireless telecommunication facilities.

DISCUSSION:

Small wireless telecommunication facilities or small cell facilities are commonly placed in the public right-of-way on existing street light poles, traffic signals, utility poles, or on new street light poles. The equipment is light weight, low power, and typically provides a coverage radius of up to approximately five hundred feet (500'). Small wireless telecommunication facilities complement and supplement the broader macro cell facilities in that they can fill gaps in coverage and provide increased network capacity, ensure connectivity, or meet the demand for heavily populated areas that need more network capacity by using an 'existing facility'.

AT&T Mobility, LLC (AT&T) is proposing to remove and replace six (6) existing citywide street light poles located within the public right-of-way owned and operated by Southern California Edison. The new 34'-9" tall small wireless telecommunication facilities will be disguised as functioning street light poles. In addition, AT&T is proposing to attach equipment to two (2) existing citywide wood utility poles located within the public right-of-way, which are owned and operated by Southern California Edison; however, the wood utility poles require authorization from the Joint Pole Authority to attach any new equipment. The ninth small wireless telecommunication facility will be a newly installed 34'-9" tall street light to be located within the public right-of-way, and it will also be owned and operated by Southern California Edison. All designs will include a related below grade or concealed meter, attached equipment, and site improvements.

The applicant will be required to obtain all required building permits, Public Works encroachment permits, and traffic lane closure permits along with City approval of a vehicular traffic control plan for all nine (9) sites.

Street Light Poles – Existing

The disguised street light poles will be installed within the City's public right-of-way. The design will not require any type of at-grade enclosure or equipment.

The proposed new street light poles will have a pole height of 29'-3" with an ultimate height to the top of the antenna of 34'-9". Each proposed new small wireless telecommunication facility will consist of a directly installed canister antenna approximately two-feet (2'-0") tall attached to a 3'-6" shroud, concealing the remote radio units, power supply units, surge protection device, ground bar along with a below grade or internally concealed meter, as well as other related equipment. All new street light poles will include a visible radio frequency and site identification placard. The luminaire design and LED light will be consistent with the City's luminaire replacement program.

The proposed new street light poles will be erected within a few feet of the existing street light poles. There will be a disruption of power as the applicant disconnects the existing pole and energizes the new street light poles. The existing poles being removed will include any related equipment, sub-structure, and concrete foundation. The existing foundation trench will be back-filled with clean fill, compacted, and completed with a finish surface to match the existing surroundings.

Wood Utility Poles - Existing

The wood utility poles will remain in-place within the City's public right-of-way. The design will not require any type of at-grade enclosure or equipment.

The existing wood utility poles vary in height, from 43'-6" to 47'-4". The two (2) proposed new small wireless telecommunication facilities will consist of an attached canister antenna approximately two-feet (2'-0") tall, two (2) remote radio units, and two (2) power supply units, all mounted onto a double extension arm mounting assembly. The two (2) facilities will include a below grade or internally concealed meter, as well as other related equipment.

The wood utility poles will include a visible radio frequency and site identification placard. Those wood utility poles with existing luminaires will be designed with new luminaires and LED lights consistent with the City's luminaire replacement program.

Street Light Pole - New

The new street light pole will be installed within the City's public right-of-way. The design will not require any type of at-grade enclosure or equipment.

The proposed new street light pole will have a pole height of 29'-3" with an ultimate height to the top of the antenna of 34'-9". The proposed new small wireless telecommunication facility will consist of a directly installed canister antenna approximately two-feet (2'-0") tall attached to a 3'-6" shroud concealing the remote radio units, power supply units, surge protection device, ground bar along with a below grade or internally concealed meter, as well as other related equipment. The new street light pole will include a visible radio frequency and site identification placard. The luminaire design and LED light will be consistent with the City's luminaire replacement program.

City staff has reviewed various design options for placing the new small wireless telecommunication facilities within the City's public right-of-way and believes the attached design is the most appropriate design offered by the applicant. Conditions of approval have been incorporated to ensure that the new street light poles will be consistent in appearance with existing citywide street light poles. All attached equipment (i.e., canister antenna, shroud, remote radio units, power supply units, mounting equipment, and other attached equipment) will be factory painted to match the pole's color to aid with aesthetically blending all visible equipment as one unit.

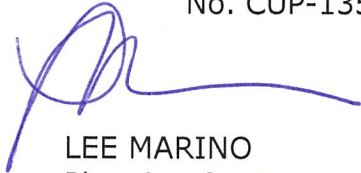
The location and design for the small wireless telecommunication facilities have been selected to achieve the functional and operational requirements set by AT&T. The small wireless telecommunication facilities will help expand the service provider's coverage area within the City, help fill gaps that currently exist in their network, and help customers who are prone to experience connectivity issues. Situating these facilities at these locations will help reduce the burden on the provider's network and accommodate an increase in customer demand. Lastly, the

request would comply with the Federal Communication Commission standards for radio frequency emissions.

RECOMMENDATION:

Staff recommends that the Planning Commission take the following action:

- Adopt Resolution No. 5928-18 approving Conditional Use Permit No. CUP-135-2018, subject to the recommended conditions of approval.

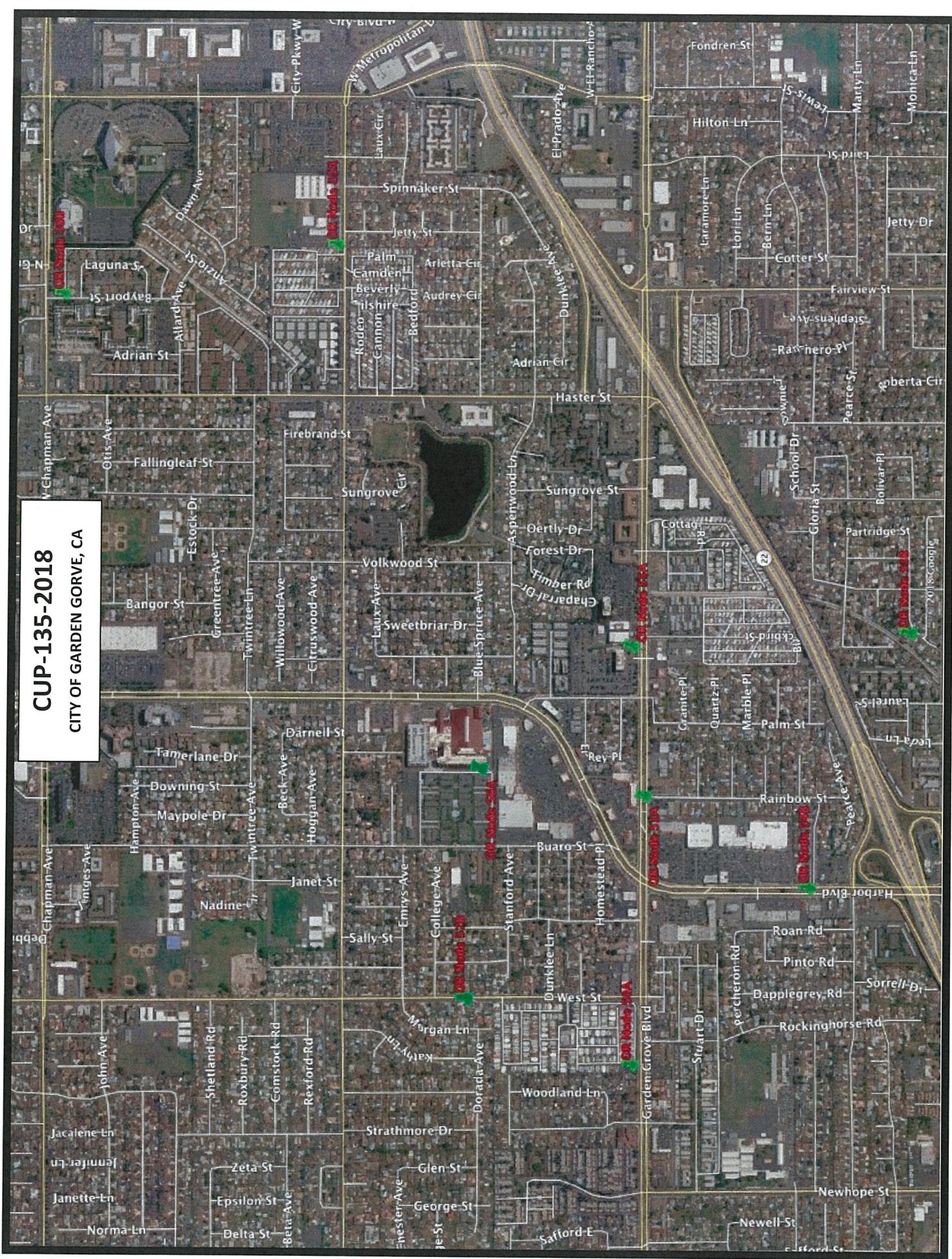


LEE MARINO
Planning Services Manager



By: Paul Guerrero
Senior Program Specialist

CUP-135-2018
CITY OF GARDEN GORVE, CA



NOTE:
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THESE CODES. NOTHING IN THESE PLANS IS TO BE CONSIDERED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2016 CALIFORNIA ADMINISTRATIVE CODE (CAC)
- 2016 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1, AND 2
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA FIRE CODE (FC)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- 2016 CALIFORNIA REFERENCED STANDARDS CODE

HANDICAP REQUIREMENTS:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA ADMINISTRATIVE STATE CODE PART 2, TITLE 24, CHAPTER 11B, SECTION 1103B.

CODE COMPLIANCE

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE, WATERSHED, OR AIR QUALITY. NO SIGNIFICANT DISTURBANCE OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL STORAGE IS NEEDED.

GENERAL NOTES



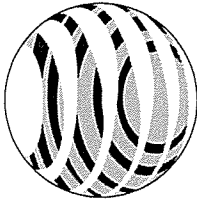
PROPERTY OWNER:	PUBLIC RIGHT OF WAY
ADDRESS:	1452 EDINGER AVENUE, 3RD FLOOR TUSTIN, CA 92780
UTMZONE (WGS 83):	33 46 03.627
UTMZONE (WGS 83):	117 91 008 (117 54' 46.76')
APN #:	
JURISDICTION:	CITY OF GARDEN GROVE
CURRENT ZONING:	PUBLIC RIGHT OF WAY
PROPOSED USE:	TELECOMMUNICATION FACILITY IN RIGHT OF WAY (ROW)

SITE INFORMATION

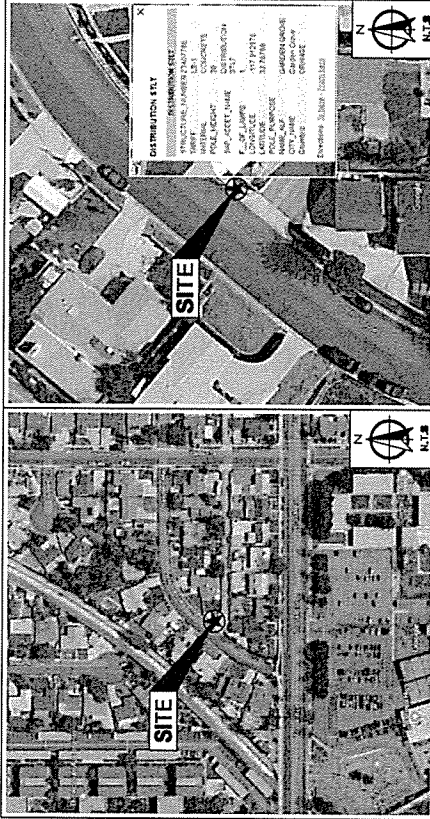
PROJECT MANAGER:	BERKELEY INFRASTRUCTURE AND POWER CORP. 18008 ANSTRONG AVENUE, SUITE 225 IRVINE, CA 92614 PHONE: 949-451-4445 EMAIL: JAWESKAW@BCEI.COM
ENGINEER:	AT&T WIRELESS 1452 EDINGER AVENUE, 3RD FLOOR TUSTIN, CA 92780 CONTACT: DAN VOZNIK PHONE: 714-721-3100 EMAIL: MROSL@AT&T.COM
REGISTERED PROFESSIONAL ENGINEER:	AT&T WIRELESS 1452 EDINGER AVENUE, 3RD FLOOR TUSTIN, CA 92780 CONTACT: DAN VOZNIK PHONE: 714-721-3100 EMAIL: MROSL@AT&T.COM

PROJECT TEAM

SITE NAME: ORFUL NODE 53B
SITE NUMBER : CRAN-RLOS-ORFUL-53
PROJECT: CRAN/ SMALL CELL
USID #: 189151
PACE #: MRLOS045325



POLE TYPE: (E) CONCRETE LIGHT POLE
POLE ID #: 2340778E
12422 RANCHERO WAY, GARDEN GROVE, CA 92843



DRIVING DIRECTIONS FROM AT&T TUSTIN OFFICE:

- MERGE ONTO CA-55 N/STATE RTE 55 N
- TAKE EXIT 13 FOR CALIFORNIA 22 W/GARDEN GROVE PWT TOWARD LONG BEACH
- CONTINUE ONTO CA-22 W/GARDEN GROVE PWT
- TAKE EXIT 12 FOR HARBOR BLVD
- TAKE TRASK AVE TO RANCHERO WAY

DRIVING DIRECTIONS

- USE THE LEFT 2 LANES TO TURN LEFT ONTO HARBOR BLVD
- TURN LEFT ONTO TRASK AVE
- TURN LEFT ONTO CLINTON ST
- TURN LEFT ONTO RANCHERO WAY
- DESTINATION WILL BE ON THE LEFT

IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE

CONSTRUCTION DRAWING

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO INSTALL THE FACILITY AS SHOWN. THESE PARTIES ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY INCURE CHARGES OR MODIFICATIONS.

APPROVED BY:	DATE:
AREA RF ENGINEER:	
AIRTEL OPERATIONS:	
SITE ACQUISITION MANAGER:	
PROJECT MANAGER:	
ZONING VENDOR:	
LOADING VENDOR:	
CONSTRUCTION MANAGER:	
AVE MANAGER:	
PROPERTY OWNER:	

APPROVALS

AT&T PROPOSES TO INSTALL A NEW WIRELESS FACILITY. THE SCOPE WILL CONSIST OF THE FOLLOWING:

- INSTALL (1) ONE CONCRETE FOUNDATION FOR CONCRETE LIGHT POLE
- INSTALL (1) ONE CONCRETE FOUNDATION FOR LIGHTING
- INSTALL (1) REMOTE MOUNT UNITS (1-RMU-2202 & 1-RMU-2203) AT ANTENNA LEVEL.
- INSTALL (1) WIRELESS FACILITY ON CONCRETE FOUNDATION 80' ABOVE GROUND.
- INSTALL (1) WIRELESS FACILITY ON CONCRETE FOUNDATION 80' ABOVE GROUND.
- TRIM THE TREE AND TOPPER FROM UTILITY PROVIDER.

PROJECT DESCRIPTION

SHEET	TITLE SHEET	DESCRIPTION
T-1	TITLE SHEET	
T-2	GENERAL NOTES, LEGEND AND ABBREVIATIONS	
C-1	SITE PLAN	
C-2	ENLARGED SITE PLAN	
C-3	PHOTO REFERENCE & EXISTING ELEVATION	
C-4	NEW ELEVATIONS	
D-1	DETAILS	
D-2	DETAILS	
D-3	DETAILS	
E-1	ELECTRICAL AND GROUNDING DETAILS	
PW	ALIEN POLE	
TOP-1	TRAFFIC CONTROL PLAN	

SHEET INDEX

SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON JOB SITE. SMALL CHANGES WILL BE MADE BY THE ENGINEER IN WRITING IF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

DO NOT SCALE DRAWINGS

APPLICANT:

1452 EDINGER AVENUE, 3RD FLOOR
TUSTIN, CA 92780

ENGINEER:

AN AIRCRAFT MAINTENANCE COMPANY
18008 ANSTRONG AVENUE, SUITE 225
IRVINE, CA 92614

DRAWN BY:	RN
CHECKED BY:	BEK

REVISIONS:

REV	DATE	DESCRIPTION	RN	BY
0	04/18/18	100% CONSTRUCTION	RN	
A	03/29/18	90% CONSTRUCTION	RN	

LICENSED ARCHITECT

LICENSEE:

PROJECT INFORMATION:

ORFUL NODE 53B
CRAN-RLOS-ORFUL-53
POLE ID# 2340778E
USID: 189151
12422 RANCHERO WAY
GARDEN GROVE, CA 92843


SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T-1

APPLICANT:



1482 EDINGER AVENUE, 3RD FLOOR
LUSTIN, CA 92780

ENGINEER:

DCI PACIFIC
A/E/C WORKS

ARCHITECTURAL ENGINEERING CONSULTANTS
REGISTERED PROFESSIONAL ENGINEERS
STATE OF CALIFORNIA


DRAWN BY: HN
BOOK

CHECKED BY:

REVISIONS:

REV	DATE	DESCRIPTION	HN	BY
0	04/18/18	100% CONSTRUCTION	HN	
A	03/28/18	90% CONSTRUCTION	HN	

LICENSEE:

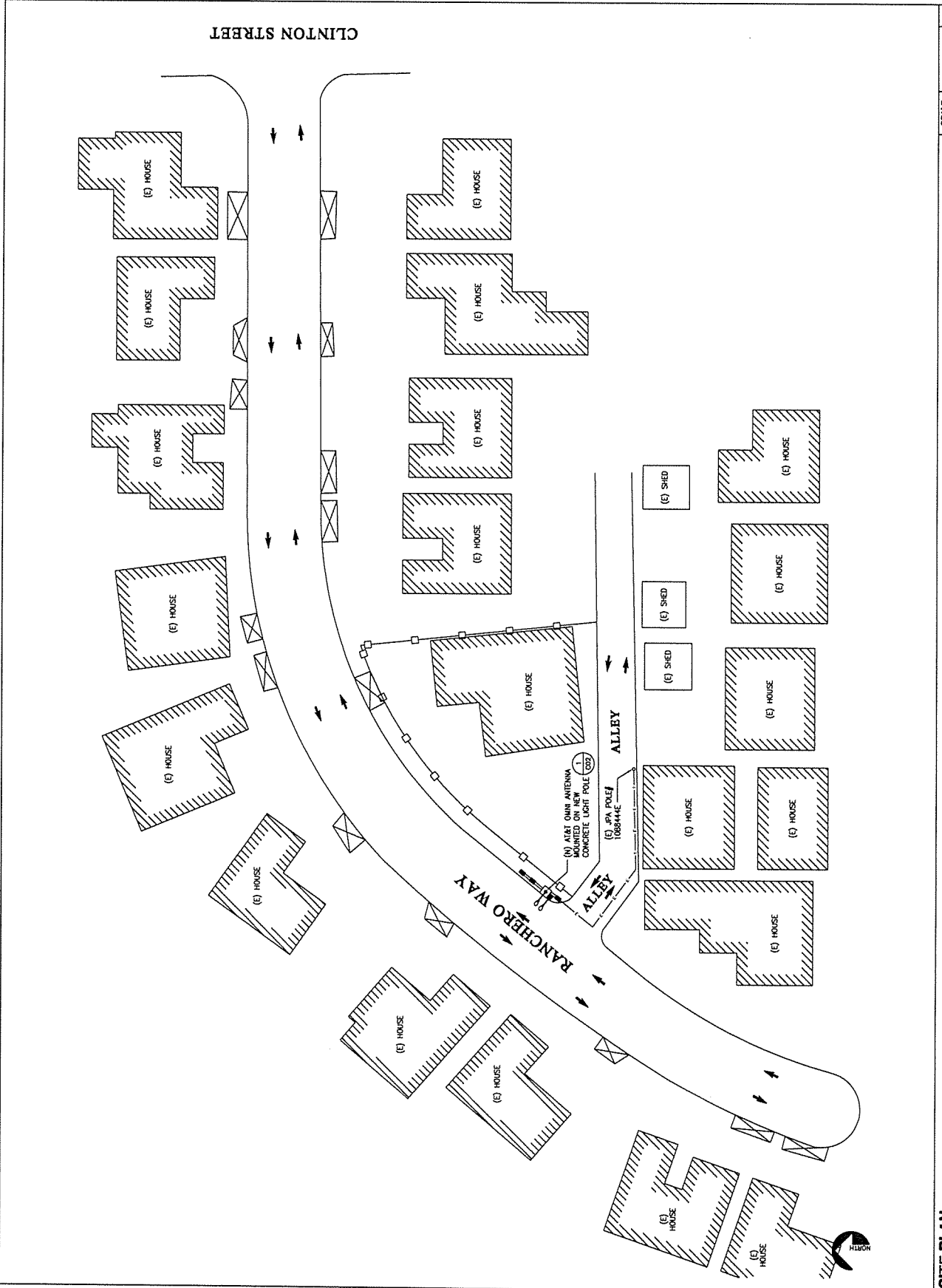


PROJECT INFORMATION:


ORFUL NODE 53B
CRAN-RLOS-ORFUL-53
POLE ID# 2340778E
USID: 189151
11422 SANDERO WAY
GARBER GROVE, CA 92643

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-1



APPLICANT:



1432 EDINGER AVENUE, 2ND FLOOR
TURBIN, CA 92780

ENGINEER:

DCI PACIFIC
A/E/C WORKS


ARCHITECTURAL ENGINEERING CONSULTING
SERVICES INC. (A/E/C)

DRAWN BY: PIN
CHECKED BY: BOK

REVISIONS

REV	DATE	DESCRIPTION	BY
0	04/18/18	100% CONSTRUCTION	PH
A	03/29/18	90% CONSTRUCTION	PH

DESIGNER:



PROJECT INFORMATION

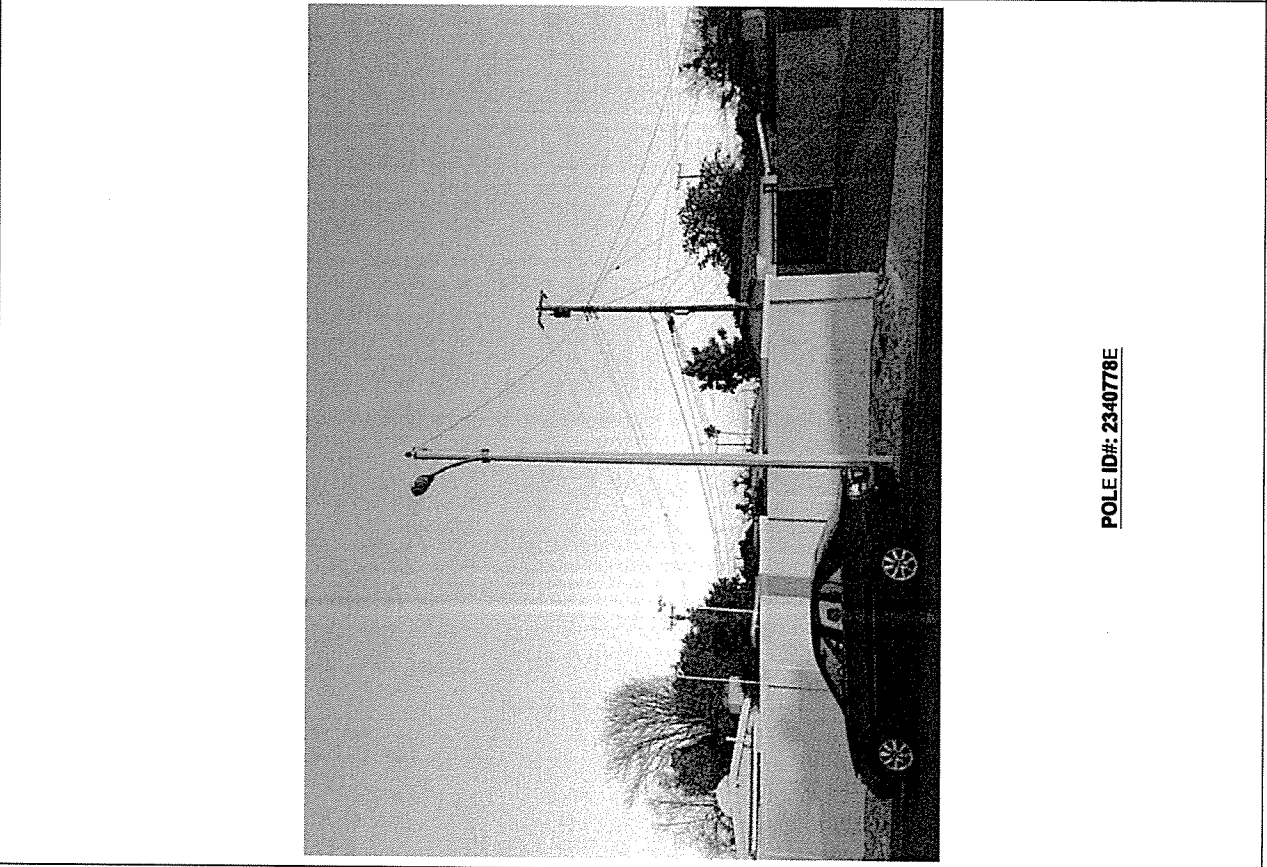
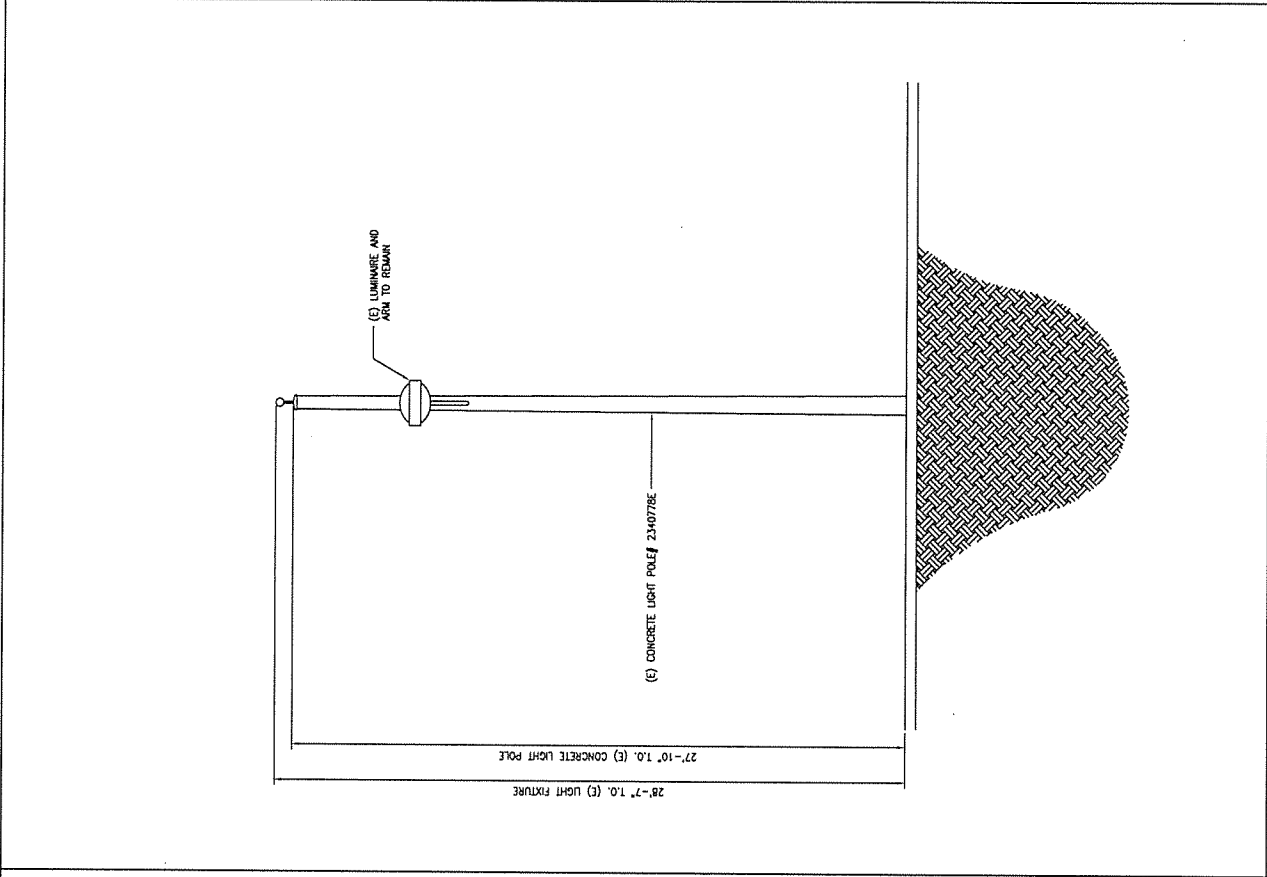
ORFUL NODE 53B
CRAN-RLOS-ORFUL-53
POLE ID# 2340778E
USID# 189151
12477 WILSON BLVD
GARDEN GROVE, CA 92643

SHEET TITLE:


**PHOTO REFERENCE
&
EXISTING ELEVATION**

SHEET NUMBER:

C-3



APPLICANT:



1402 EDINGER AVENUE, 3RD FLOOR
LUNTA, CA 92750

ENGINEER:

DCI PACIFIC
A/E/C WORKS


ARCHITECTURE | INTERIORS | CONSULTING
1000 UNIVERSITY AVENUE, SUITE 1100
BERKELEY, CA 94704

DRAWN BY: HN
CHECKED BY: BOK

REVISIONS

REV	DATE	DESCRIPTION	BY
0	04/18/18	100% CONSTRUCTION	HN
A	03/29/18	90% CONSTRUCTION	HN

LICENSER:

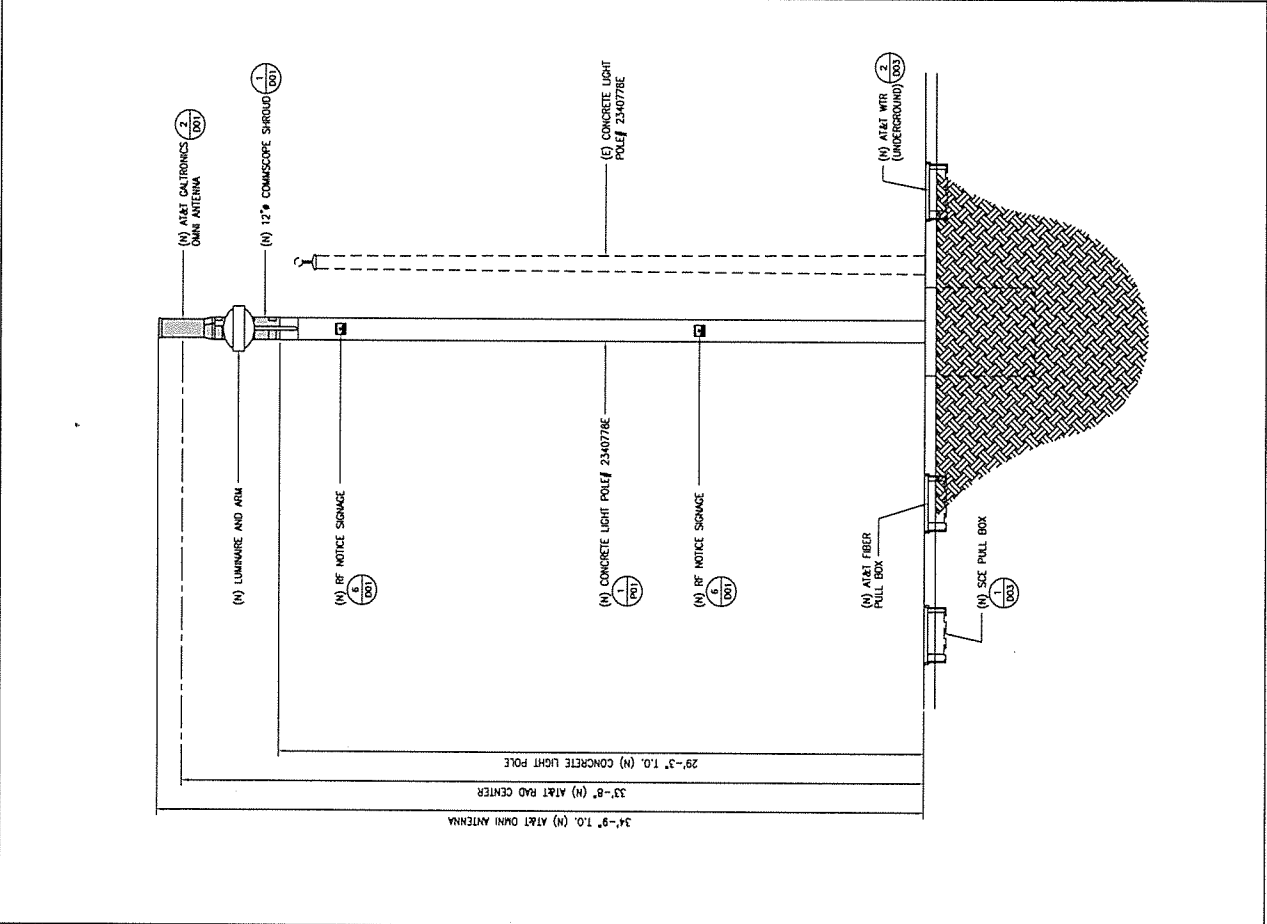
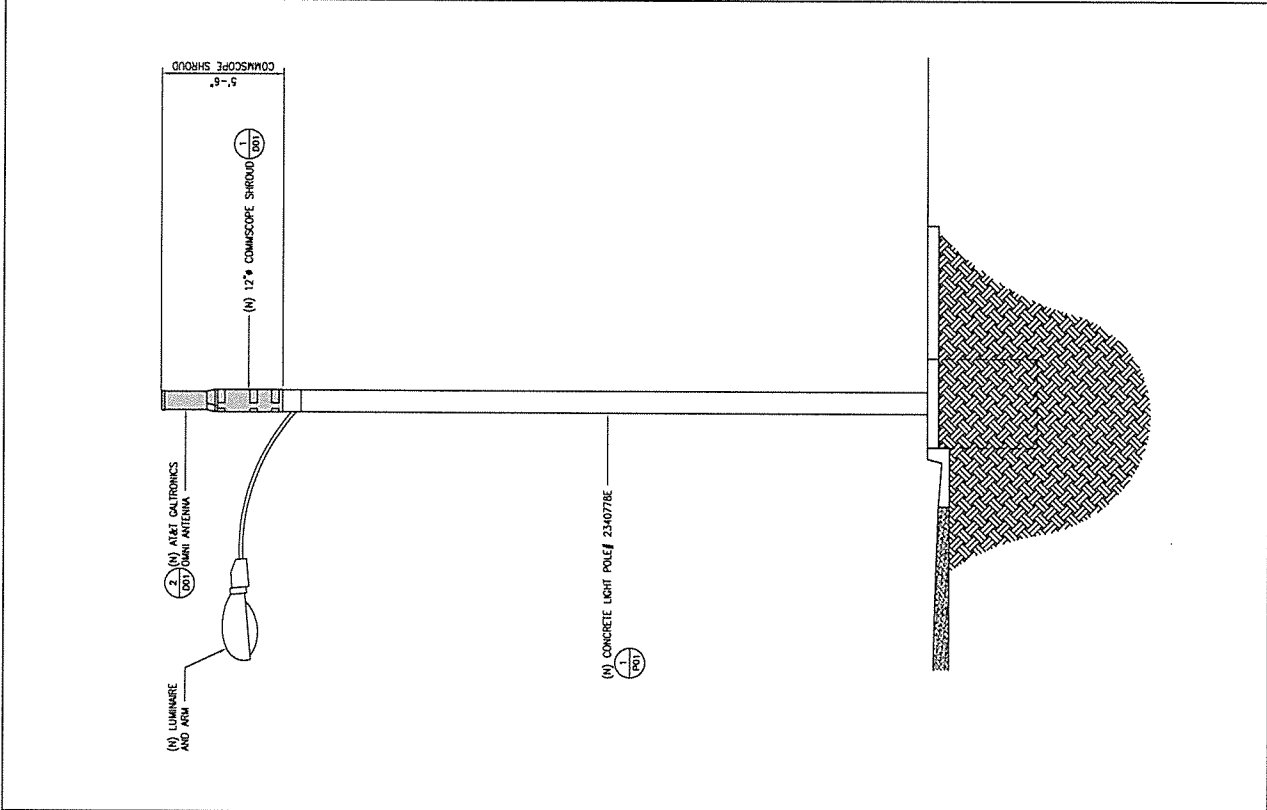


PROJECT INFORMATION


ORFUL NODE 53B
CRAN-RLOS-ORFUL-53
POLE ID# 2340778E
USID: 189151
1742 LUCAS WAY
GARDEN GROVE, CA 92843

SHEET TITLE:
NEW ELEVATIONS

SHEET NUMBER:
C-4



APPLICANT:



1402 EDINGER AVENUE, 3RD FLOOR
LUSTRI, CA 92770

ENGINEER:

DCI PACIFIC
AIRC WORKS


ARCHITECTURAL CONSULTING & CONSTRUCTION
1402 EDINGER AVENUE, 3RD FLOOR
LUSTRI, CA 92770

DRAWN BY: HRN
CHECKED BY: BRK

REVISIONS:

REV	DATE	DESCRIPTION	HRN	BY
0	04/18/16	100% CONSTRUCTION	HRN	
A	10/29/16	90% CONSTRUCTION	HRN	

LICENSED ARCHITECT
STATE OF CALIFORNIA
C-14115
EXD. 11/19



PROJECT INFORMATION:

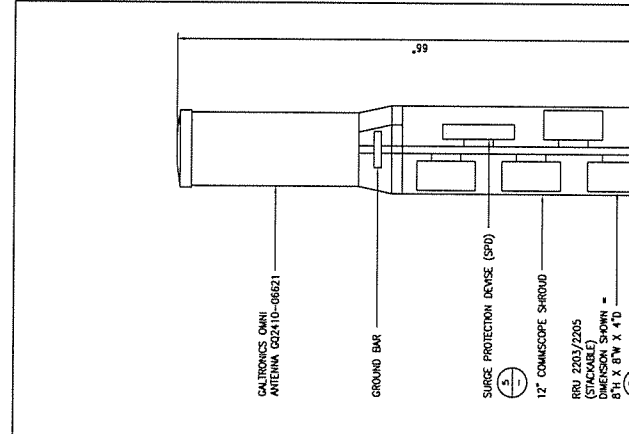
ORFUL NODE 53B
CRAN-RLOS-ORFUL-53
POLE ID# 2340778E
USID: 189151
1422 RANCHERO WAY
GARDEN GROVE, CA 92643

SHEET TITLE:

DETAILS

SHEET NUMBER:

D-1



REV	DATE	DESCRIPTION	HRN	BY
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A	10/29/16	90% CONSTRUCTION	HRN	

PROJECT INFORMATION:

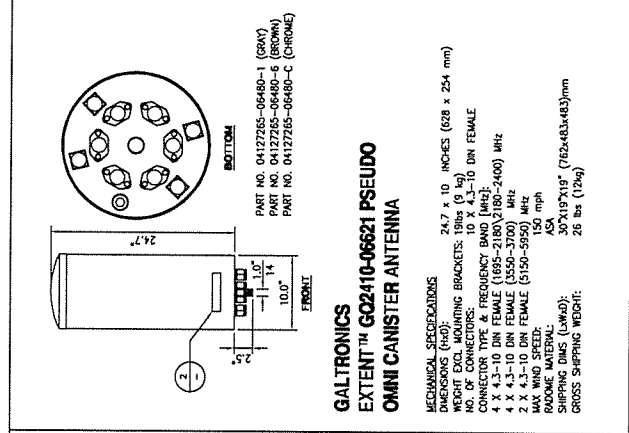
ORFUL NODE 53B
CRAN-RLOS-ORFUL-53
POLE ID# 2340778E
USID: 189151
1422 RANCHERO WAY
GARDEN GROVE, CA 92643

SHEET TITLE:

DETAILS

SHEET NUMBER:

D-1



MECHANICAL SPECIFICATIONS:

MECHANICAL SPECIFICATIONS: 24.7 x 10 INCHES (628 x 254 mm)
DIMENSIONS (WxD): 24.7 x 10 INCHES (628 x 254 mm)
WEIGHT EXCL. MOUNTING BRACKETS: 18lbs (8 kg)
NO. OF CONNECTORS: 10 X 4.3-10 DIN FEMALE
CONNECTOR TYPE & FREQUENCY BAND (MHz): 4 X 4.3-10 DIN FEMALE (1895-2180V)(800-2400) MHz
4 X 4.3-10 DIN FEMALE (1895-2180V)(800-2400) MHz
2 X 4.3-10 DIN FEMALE (6150-9050) MHz
MAX WIND SPEED: 150 mph
ROOFING MATERIAL: ASA
SHIPMENT DIMS (LxWxD): 30"x19"x19" (762x483x483)mm
GROSS SHIPPING WEIGHT: 26 lbs (12kg)

MECHANICAL SPECIFICATIONS:

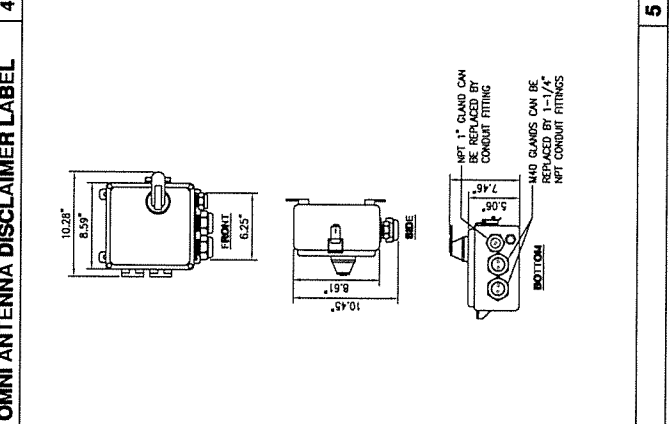
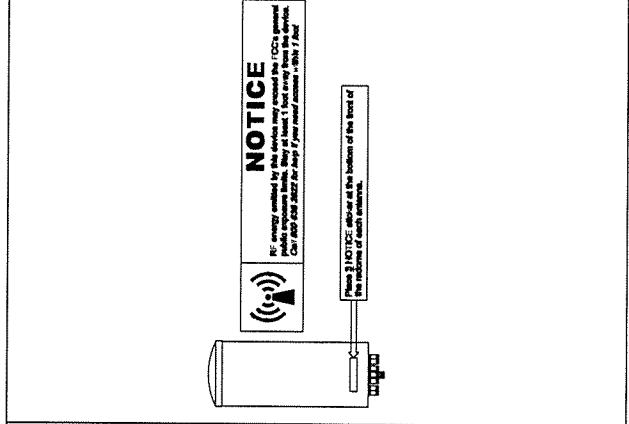
DIMENSIONS (WxDxH): 7.87" x 3.94" x 7.87", INCLUDING MOUNTING BRACKET AND ESTHETIC FRONT COVER
VOLUME AND WEIGHT: 4 LITRES AND < 4.5 kg (9.92 lb)
MOUNTING: WALL AND POLE MOUNT

RIBBAGE SPECIFICATIONS:

ANTENNA PORTS: 2 x 4.3-10(F)
CPRE: 2 x 2.5/5/10 Chps (EXCHANGEABLE SFP MODULES)
OPTICAL INDICATORS: 6
OPTIONAL INDICATOR: 1
FIELD GROUND: 1

ELECTRICAL SPECIFICATIONS:

OPERATING MODES: VCO OR 100 - 250 VAC
POWER OUTPUT: 97 WATTS MAX
MAX HEAT DISSIPATION: 90 WATTS
MINIMUM AC FUSE RATING: 6 AMP



CAUTION

AT&T operating personnel at this structure. Above this field you are entering an area where radio frequency (RF) energy may be present. RF energy may cause the FCC's general emission limit. This antenna is not intended for use in the vicinity of sensitive equipment. For more information, please refer to the user manual, or call 714-962-7467.

Committed AT&T at 408-438-2822 and other local numbers prior to performing any maintenance or repairs above this point.

Caution Sign #1 This is AT&T cable (MSD).

NOTES:

- RF RADIATION SAFETY SIGNS SHALL BE POSTED ONLY WHEN REQUIRED BY RF ENGINEERING OR LOCAL JURISDICTIONAL REQUIREMENTS. RF ENGINEERING SHALL INDICATE THE TYPE AND LOCATION OF RF RADIATION SAFETY SIGNS THAT SHALL BE POSTED WHEN REQUIRED AT A SITE. "AT&T" SHALL BE NOTIFIED IF A SIGN IS REQUIRED TO BE INSTALLED AT A SITE.
- RF RADIATION NOTICE SAFETY SIGN SYMBOLS AND COLORING MUST CONFORM TO THE ANSI STANDARD Z39.33 FOR RADIO FREQUENCY ENERGY AND CURRENT FLOW SYMBOLS.

RAYCAP - RSCAC-6533-P-120-D

MECHANICAL:

CONNECTION TERMINAL (POWER): COMPRESSION LUG #6 - #14 AWG (13 - 24AWG)
TERMINAL BLOCK #10-128 AWG (6 - 0.14MM2)
ENVIRONMENTAL INGRESS PROTECTION (IP) RATING: NEMA 4X
STORAGE TEMPERATURE: -40 to +80 C
OPERATING TEMPERATURE: -30 to +80 C
ENCLOSURE TYPE (OUTDOOR) POLYCARBONATE: UL 94V-0 RATED
ENCLOSURE DIMENSION: (L x W x H) 8.5" x 5.08" x 10.08"
WEIGHT: 2.25 LBS (1.02kg) [217 x 128 x 256 MM]

ELECTRICAL:

SURGE PROTECTION DEVICE (SPD) TYPE TO UL STRIKESORB 30-A
NUMBER OF CIRCUITS PROTECTED: 4
SURGE PROTECTIVE DEVICE (SPD) TYPE PER UL 1449 4TH EDITION: TYPE 2
SURGE PROTECTION CLASS (SPC) CLASS TO IEC 61643-11: CLASS II
NOMINAL OPERATING VOLTAGE (UN): 120 V
MAXIMUM DISCHARGE CURRENT (IM) PER UL 1449 4TH EDITION: 20 KA 8/20 MS
MAXIMUM DISCHARGE CURRENT (IM) PER IEC 61643-11: 60 KA 8/20 MS
MAXIMUM CONTINUOUS OPERATING VOLTAGE (MCOV) (MCOV) 1500V
VOLTAGE PROTECTION LEVEL (UPL) PER IEC 61643-11: 700V
SUPPRESSION TECHNOLOGY: MOV
PROTECTION MODES (DUAL MODE): LINE TO NEUTRAL, NEUTRAL TO GROUND

STRIKESORB MODULES ARE COMPLIANT TO THE FOLLOWING SURGE PROTECTIVE DEVICE (SPD) STANDARDS:

UL 1449 4TH EDITION: 2011, IEC 61643-11: 2011, EN 61643-11: 2012, IEEE C62.11: 2005, IEEE C62.41: 2002, IEEE C62.45: 2002, NEMA-LS-1 CERTIFICATION
UL, VDE, CE

APPLICANT:



1452 EDINGER AVENUE, 3RD FLOOR
LUSTIN, CA 92780

ENGINEER:

DCI PACIFIC
A/E/C WORKS


ARCHITECTURAL ENGINEERING CONSULTANTS
1000 UNIVERSITY AVENUE, SUITE 100
SAN FRANCISCO, CA 94133

DRAWN BY: HRN
CHECKED BY: BOX

REVISIONS:

REV	DATE	DESCRIPTION	HRN	BY
0	04/19/18	100% CONSTRUCTION	HRN	
A	10/29/18	50% CONSTRUCTION	HRN	

LICENSED ARCHITECT
C-18115
R04.11/19



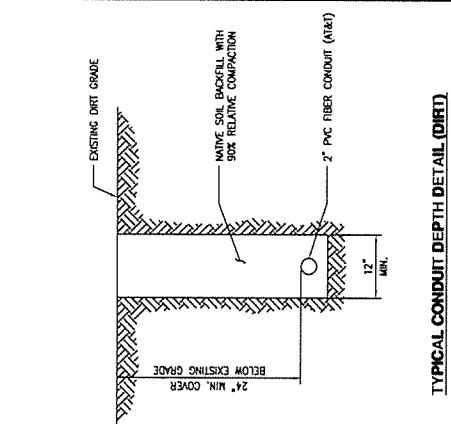
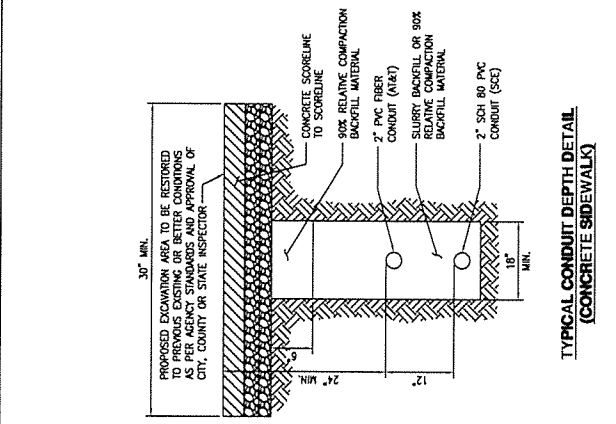
REGISTERED PROFESSIONAL ENGINEER
ELECTRICAL
NO. 10000

PROJECT INFORMATION

ORFUL NODE 53B
CRAN-RLOS-ORFUL-53
POLE ID# 23A0078E
USID: 189151A
12000
GARBERA GROVE, CA 92643

SHEET TITLE:
DETAILS

SHEET NUMBER:
D-2



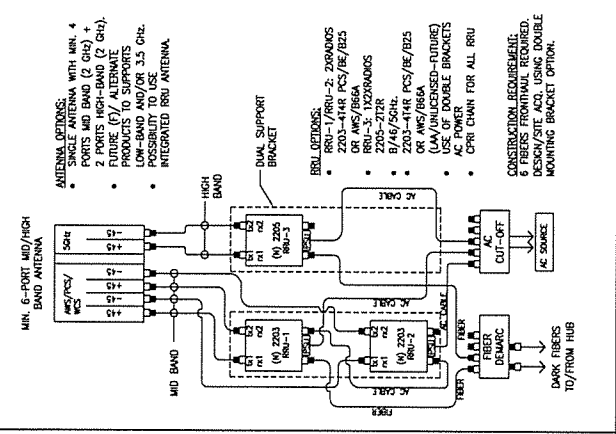
TOTAL POWER USAGE: 547.2 WATTS

1. (4) RRU-2203
2. (4) 10 AMP BREAKER

POLE LOADING:

1. RAYCAP SPD = 2.25 LBS
2. (4) RRU-2203 = 40 LBS
3. GALTRONICS ANTENNA = 19 LBS

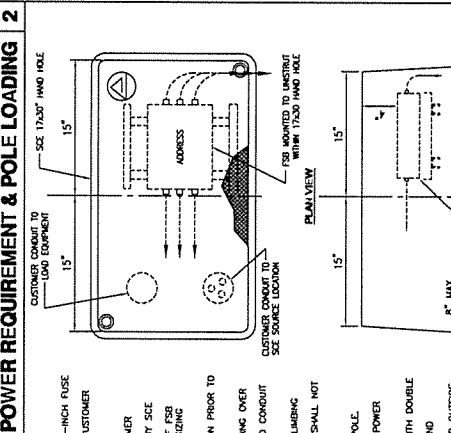
TOTAL = 61.25 LBS



5 PLUMBING DIAGRAM

CABINET TO INCLUDE:

1. 10 AMP BREAKER
2. 10 AMP BREAKER
3. SINGLE-POLE TERMINAL BLOCK FOR NEUTRAL CONDUCTOR TERMINATION
4. 10 AMP BREAKER
5. 10 AMP BREAKER
6. 10 AMP BREAKER
7. 10 AMP BREAKER
8. 10 AMP BREAKER
9. 10 AMP BREAKER
10. 10 AMP BREAKER
11. 10 AMP BREAKER
12. 10 AMP BREAKER
13. 10 AMP BREAKER
14. 10 AMP BREAKER
15. 10 AMP BREAKER
16. 10 AMP BREAKER
17. 10 AMP BREAKER
18. 10 AMP BREAKER
19. 10 AMP BREAKER
20. 10 AMP BREAKER



4 POWER REQUIREMENT & POLE LOADING

1. 10 AMP BREAKER

2. 10 AMP BREAKER

3. 10 AMP BREAKER

4. 10 AMP BREAKER

5. 10 AMP BREAKER

6. 10 AMP BREAKER

7. 10 AMP BREAKER

8. 10 AMP BREAKER

9. 10 AMP BREAKER

10. 10 AMP BREAKER

11. 10 AMP BREAKER

12. 10 AMP BREAKER

13. 10 AMP BREAKER

14. 10 AMP BREAKER

15. 10 AMP BREAKER

16. 10 AMP BREAKER

17. 10 AMP BREAKER

18. 10 AMP BREAKER

19. 10 AMP BREAKER

20. 10 AMP BREAKER

3 TRENCHING DETAIL

1. 10 AMP BREAKER

2. 10 AMP BREAKER

3. 10 AMP BREAKER

4. 10 AMP BREAKER

5. 10 AMP BREAKER

6. 10 AMP BREAKER

7. 10 AMP BREAKER

8. 10 AMP BREAKER

9. 10 AMP BREAKER

10. 10 AMP BREAKER

11. 10 AMP BREAKER

12. 10 AMP BREAKER

13. 10 AMP BREAKER

14. 10 AMP BREAKER

15. 10 AMP BREAKER

16. 10 AMP BREAKER

17. 10 AMP BREAKER

18. 10 AMP BREAKER

19. 10 AMP BREAKER

20. 10 AMP BREAKER

1

2

3

6 WTR FUSE SPICE BOX (FSB) IN HAND HOLE

1. 10 AMP BREAKER

2. 10 AMP BREAKER

3. 10 AMP BREAKER

4. 10 AMP BREAKER

5. 10 AMP BREAKER

6. 10 AMP BREAKER

7. 10 AMP BREAKER

8. 10 AMP BREAKER

9. 10 AMP BREAKER

10. 10 AMP BREAKER

11. 10 AMP BREAKER

12. 10 AMP BREAKER

13. 10 AMP BREAKER

14. 10 AMP BREAKER

15. 10 AMP BREAKER

16. 10 AMP BREAKER

17. 10 AMP BREAKER

18. 10 AMP BREAKER

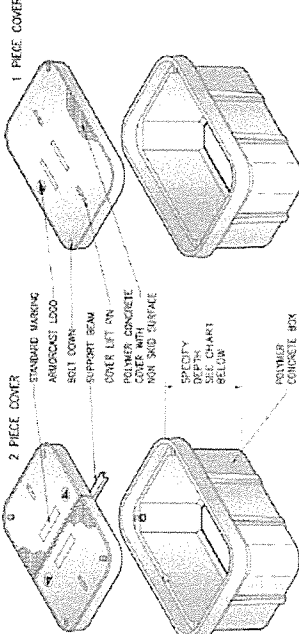
19. 10 AMP BREAKER

20. 10 AMP BREAKER

24" X 36" BOX ASSEMBLY 12" to 42" DEPTHS

POLYMER CONCRETE

ARMORCAST®



24"W x 36"L BOX ASSEMBLIES Specify Depth Below

DESCRIPTION	NOMINAL SIZE W x L x D	LOAD RATING	ANSI TIER	PART NUMBER	APPROX WEIGHT	PALETTE QTY
Box & Cover Assembly	24" x 36" x 12"	10K	8	A600197APCX12	185 lbs.	8
Box & Cover Assembly	24" x 36" x 12"	20K	16/22	A600197APCX12 / A600197APCX12	257 lbs.	4
Box & Cover Assembly	24" x 36" x 18"	10K	8	A600197APCX18	231 lbs.	8
Box & Cover Assembly	24" x 36" x 18"	20K	16/22	A600197APCX18 / A600197APCX18	303 lbs.	4
Box & Cover Assembly	24" x 36" x 24"	10K	8	A600197APCX24	277 lbs.	8
Box & Cover Assembly	24" x 36" x 24"	20K	16/22	A600197APCX24 / A600197APCX24	349 lbs.	4
Box & Cover Assembly	24" x 36" x 30"	10K	8	A600197APCX30	302 lbs.	8
Box & Cover Assembly	24" x 36" x 30"	20K	16/22	A600197APCX30 / A600197APCX30	374 lbs.	4
Box & Cover Assembly	24" x 36" x 36"	10K	8	A600197APCX36	352 lbs.	8
Box & Cover Assembly	24" x 36" x 36"	20K	16/22	A600197APCX36 / A600197APCX36	424 lbs.	4
Box & Cover Assembly	24" x 36" x 42"	10K	8	A600197APCX42	380 lbs.	8
Box & Cover Assembly	24" x 36" x 42"	20K	16/22	A600197APCX42 / A600197APCX42	452 lbs.	4

COMPONENTS

DESCRIPTION	NOMINAL SIZE W x L x D	LOAD RATING	ANSI TIER	PART NUMBER	APPROX WEIGHT	PALETTE QTY
Replacement Covers	24" x 36" x 12"	10K	8	A600197C	85 lbs.	20
Replacement Covers	24" x 36" x 12"	20K	16/22	A600197C / A600197C	157 lbs.	10
Replacement Covers	24" x 36" x 18"	10K	8	A600197C	84 lbs.	20
Replacement Covers	24" x 36" x 18"	20K	16/22	A600197C / A600197C	156 lbs.	10
Replacement Boxes	24" x 36" x 12"	10K / 20K	22	A600197PCX12	100 lbs.	8
Replacement Boxes	24" x 36" x 18"	10K / 20K	22	A600197PCX18	136 lbs.	4
Replacement Boxes	24" x 36" x 24"	10K / 20K	22	A600197PCX24	182 lbs.	2
Replacement Boxes	24" x 36" x 30"	10K / 20K	22	A600197PCX30	207 lbs.	2
Replacement Boxes	24" x 36" x 36"	10K / 20K	22	A600197PCX36	230 lbs.	2
Replacement Boxes	24" x 36" x 42"	10K / 20K	22	A600197PCX42	274 lbs.	2

* Boxes are Open Bottom and Stackable, also available with Solid Bottoms.
* For sizes not shown please contact Armorcast Products for more information.
THIS PRODUCT IS LISTED TO APPLICABLE UL STANDARDS AND REQUIREMENTS BY UL.

www.armorcastprod.com

Tel: (818) 982-3000 Fax: (818) 982-7742

APPLICANT:

1482 EMBURGER AVENUE, 3RD FLOOR
LUSTENAU, CA 92780

ENGINEER:

DCI PACIFIC
AIRC WORKS

ARCHITECTURAL ENGINEERING & CONSTRUCTION
10000 WILSON AVENUE, SUITE 118
DUBLIN, CA 94568

DRAWN BY: RH
CHECKED BY: BCK

REVISIONS:

REV	DATE	DESCRIPTION	BY
0	04/18/18	100% CONSTRUCTION	RH
A	10/26/18	30% CONSTRUCTION	RH

LICENSEE:

PROJECT NO: ORFUL-538
CRAN-RLOS-ORFUL-53
POLE ID# 2340778E
USID: 189151
12422 BANCHERO WAY
GARDEN GROVE, CA 92843

SHEET TITLE:
DETAILS

SHEET NUMBER:
D-3

APPLICANT:



1402 EDINGER AVENUE, 3RD FLOOR
TUSTIN, CA 92780

ENGINEERS:

DCI PACIFIC
A/E/C WORKS


ARCHITECTURAL ENGINEERING CONSULTANTS
3000 CENTRAL EXPWAY, SUITE 110
TUSTIN, CA 92780

DRAWN BY:	PH
CHECKED BY:	BRK

REVISIONS:

REV	DATE	DESCRIPTION	PH	BY
0	04/24/18	100% CONSTRUCTION	PH	
A	04/17/18	90% CONSTRUCTION	PH	

LICENSED ARCHITECT



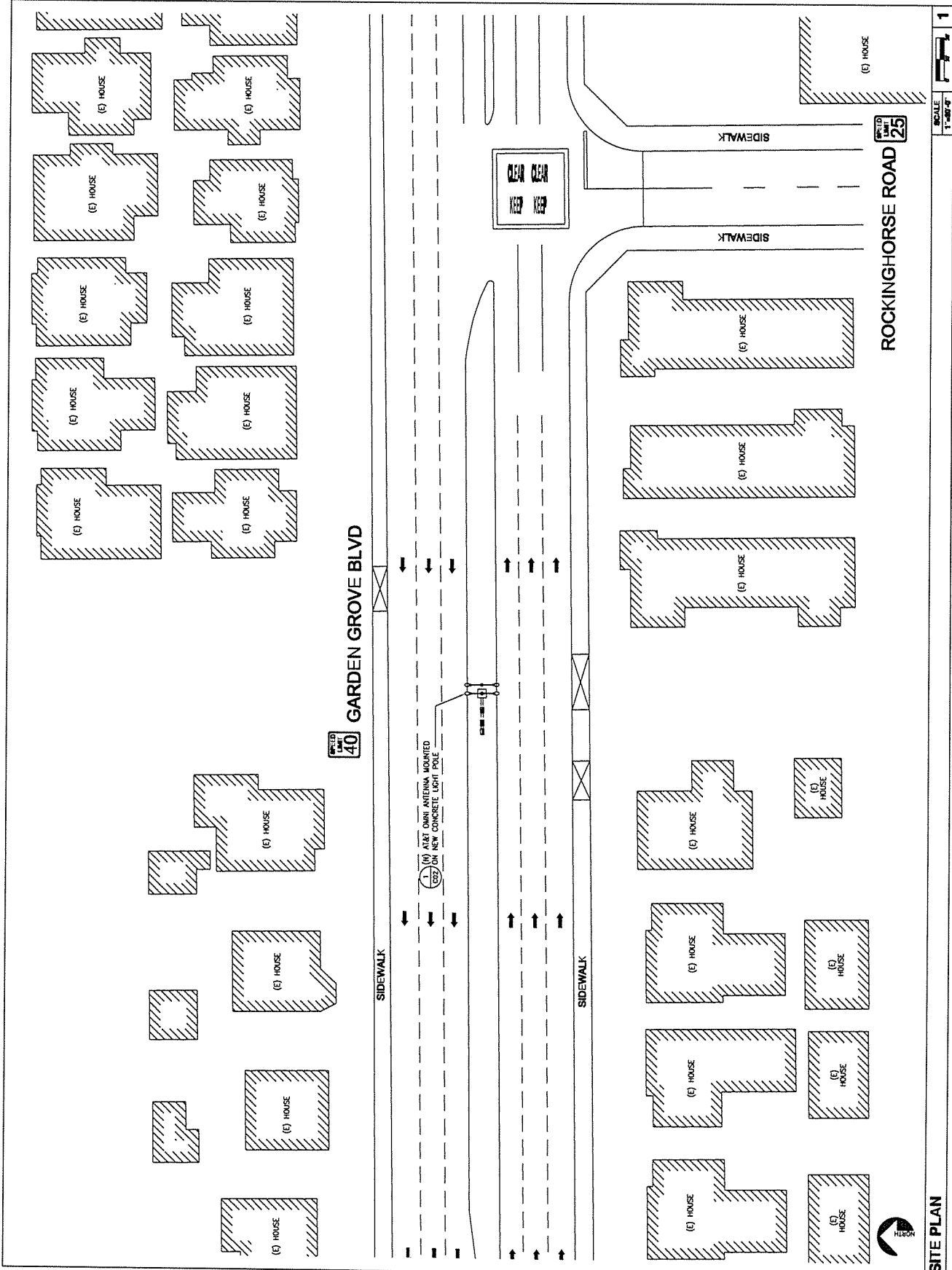
C. J. PARIS
EX. 11/19
STATE OF CALIFORNIA

PROJECT INFORMATION:

ORFUL NODE 50A
CRAN-RLOS-ORFUL-50
POLE ID# 4264212E
USID: 189150
NORTH OF 11822 W GARDEN GROVE BLVD
GARDEN GROVE, CA 92643

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-1



SCALE: 1"=40'-0"

SITE PLAN

APPLICANT:



142 EDINGER AVENUE, 3RD FLOOR
LUBERTON, CA 92750

ENGINEER:

DCI PACIFIC
A/E/C WORKS


ARCHITECTURE | ENGINEERING | CONSULTING
3000 UNIVERSITY AVENUE, SUITE 100
SAN FRANCISCO, CA 94133

DRAWN BY: _____
CHECKED BY: _____

REVISIONS

REV	DATE	DESCRIPTION	BY
0	04/24/18	100% CONSTRUCTION	JAN
A	04/17/18	90% CONSTRUCTION	BRN

LICENSEE:



PROJECT INFORMATION:

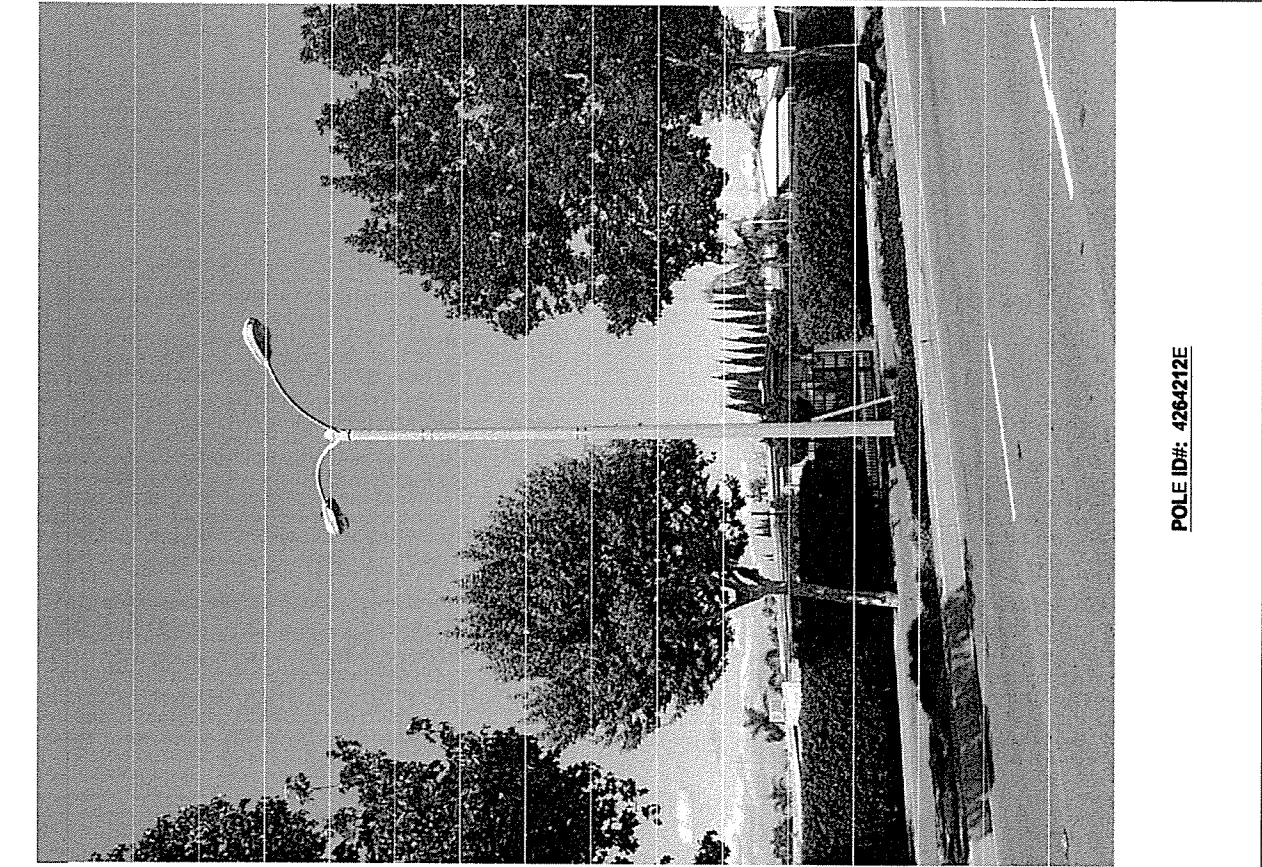
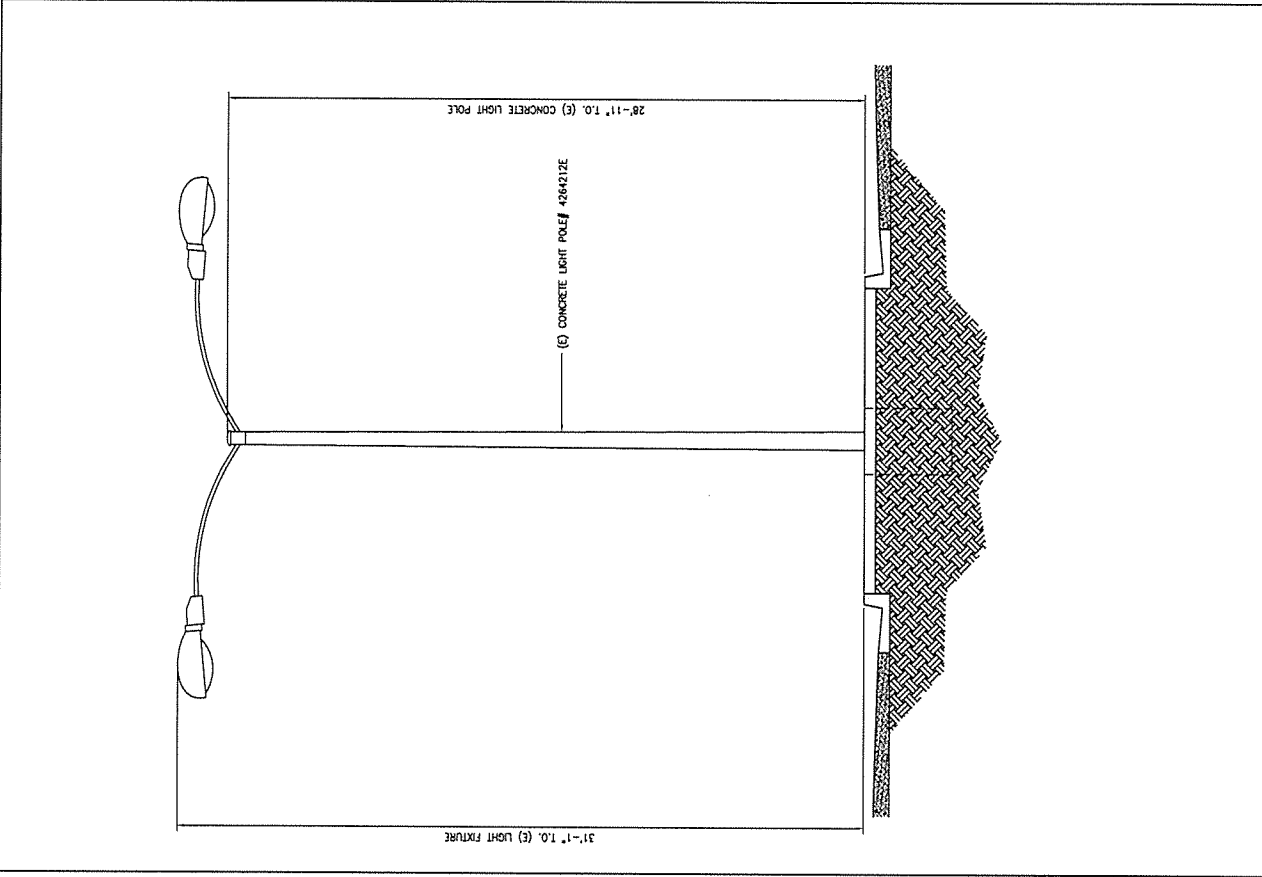
ORFUL NODE 50A
CRAN-RLOS-ORFUL-50
POLE ID# 4264212E
USID: 189150
NORTH OF 11622 W. GARDEN GROVE BLVD
GARDEN GROVE, CA 92643

SHEET TITLE:

**PHOTO REFERENCE
&
EXISTING ELEVATION**

SHEET NUMBER:

C-3



POLE ID#: 4264212E

APPLICANTS:



142 CONGER AVENUE, 3RD FLOOR
LUREN, CA 92780

ENGINEER:

DCI PACIFIC
A/E/C WORKS


ARCHITECTURE | ENGINEERING | CONSTRUCTION
3000 CENTRAL EXPRESSWAY, SUITE 1100
MOUNTAIN VIEW, CA 94039

DRAWN BY: HN
CHECKED BY: BOK

REVISIONS

NO.	DATE	DESCRIPTION	BY
0	04/24/18	100% CONSTRUCTION	HN
A	04/17/18	90% CONSTRUCTION	HN

LICENSURE



PROJECT INFORMATION

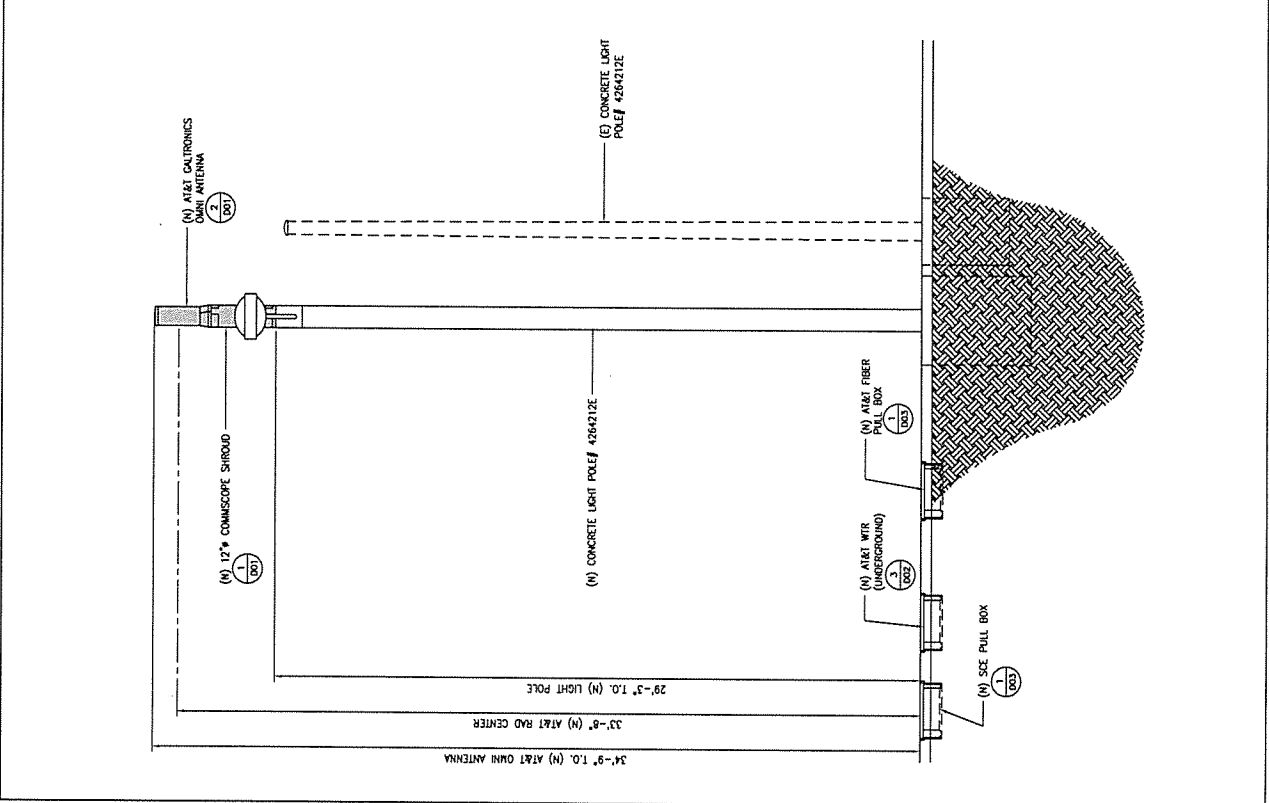
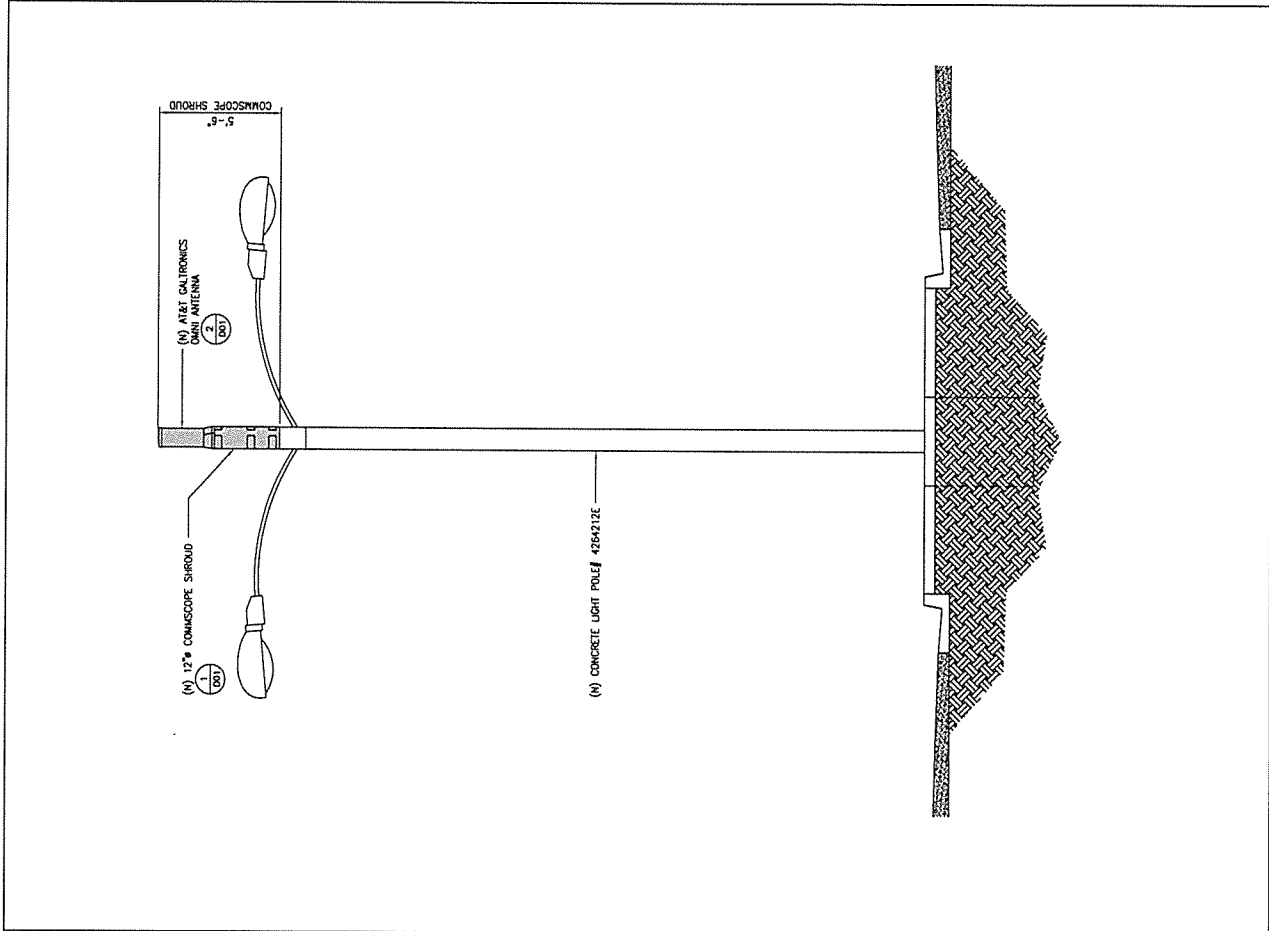
ORFUL NODE 50A
CRAN-RLOS-ORFUL-50
POLE ID# 4264212E
USID: 189150
NORTH OF GARDEN GROVE BLVD
GARDEN GROVE, CA 92643

SHEET TITLE:

NEW ELEVATIONS

SHEET NUMBER:


C-4



NEW SOUTH ELEVATION

NEW WEST ELEVATION

APPLICANT:



1482 EMBURY AVENUE, 3RD FLOOR
LUSTITA, CA 92780

ENGINEER:

DCI PACIFIC
AIRC WORKS


ARCHITECTURAL ENGINEERING CONSULTANTS
REGISTERED PROFESSIONAL ENGINEERS
SINCE 1961, LICENSE # 118

DRAWN BY: JH
CHECKED BY: BOX

REVISIONS:

NO.	DATE	DESCRIPTION	BY
0	04/24/18	100% CONSTRUCTION	JH
A	04/17/18	90% CONSTRUCTION	JH

LICENSED ARCHITECT



C-34915
REK. 11/19
STATE OF CALIFORNIA

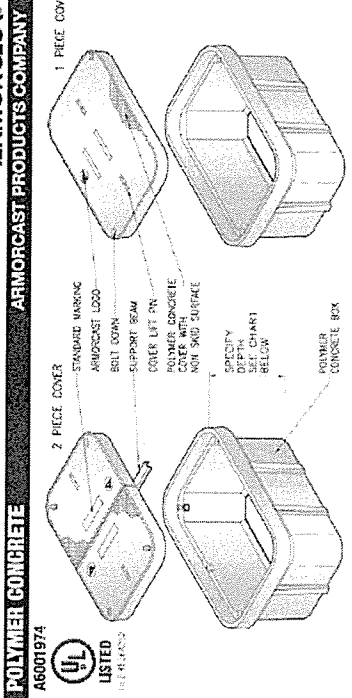
PROJECT IN COMPLIANCE WITH:

ORFUL NODE 50A
CRAN-RLOS-ORFUL-50
POLE ID# 4264212E
USID: 189150
NORTH OF 116th, GARDNER GROVE BLVD
GARDNER GROVE, CA 95845

SHEET TITLE:
DETAILS

SHEET NUMBER:
D-3

24" X 36" BOX ASSEMBLY
12" to 42" DEPTHS



24"W X 36"L BOX ASSEMBLIES Specify Depth Below

DESCRIPTION	NOMINAL SIZE W x L x D	LOAD RATING	ANSI TIER	PART NUMBER	APPROX. WEIGHT	PALLET QTY
Box & Cover Assembly	24" x 36" x 12"	10K	8	A6001974PCX12	192 lbs.	8
Box & Cover Assembly	24" x 36" x 18"	20K	15/22	A6001974PCX18 / A6001974PCX18	257 lbs.	8
Box & Cover Assembly	24" x 36" x 24"	20K	15/22	A6001974PCX24 / A6001974PCX24	237 lbs.	8
Box & Cover Assembly	24" x 36" x 30"	20K	15/22	A6001974PCX30 / A6001974PCX30	272 lbs.	2
Box & Cover Assembly	24" x 36" x 36"	20K	15/22	A6001974PCX36 / A6001974PCX36	319 lbs.	2
Box & Cover Assembly	24" x 36" x 42"	20K	15/22	A6001974PCX42 / A6001974PCX42	302 lbs.	2
Replacement Covers	24" x 36" x 12"	10K	8	A6001974PCX12	55 lbs.	20
Replacement Covers	24" x 36" x 18"	20K	15/22	A6001974PCX18	64 lbs.	20
Replacement Covers	24" x 36" x 24"	20K	15/22	A6001974PCX24	100 lbs.	8
Replacement Covers	24" x 36" x 30"	20K	15/22	A6001974PCX30	138 lbs.	4
Replacement Covers	24" x 36" x 36"	20K	15/22	A6001974PCX36	182 lbs.	2
Replacement Covers	24" x 36" x 42"	20K	15/22	A6001974PCX42	207 lbs.	2
Replacement Covers	24" x 36" x 42"	20K	15/22	A6001974PCX42	230 lbs.	2

COMPONENTS

DESCRIPTION	NOMINAL SIZE W x L x D	LOAD RATING	ANSI TIER	PART NUMBER	APPROX. WEIGHT	PALLET QTY
Replacement Covers	24" x 36" x 12"	10K	8	A6001975	65 lbs.	20
Replacement Covers	24" x 36" x 18"	20K	15/22	A6001975 / A6001975HD	157 lbs.	20
Replacement Covers	24" x 36" x 24"	20K	15/22	A6001975	64 lbs.	20
Replacement Covers	24" x 36" x 30"	20K	15/22	A6001975 / A6001975HD (2 pc. Per)	64 lbs.	20
Replacement Covers	24" x 36" x 36"	20K	15/22	A6001975PCX12	100 lbs.	8
Replacement Covers	24" x 36" x 36"	20K	15/22	A6001975PCX18	138 lbs.	4
Replacement Covers	24" x 36" x 42"	20K	15/22	A6001975PCX24	182 lbs.	2
Replacement Covers	24" x 36" x 42"	20K	15/22	A6001975PCX30	207 lbs.	2
Replacement Covers	24" x 36" x 42"	20K	15/22	A6001975PCX36	230 lbs.	2

* Boxes are Open Bottom and Stackable, also available with Solid Bottoms.
* For Sizes not shown please contact Armorcast Products for more information.
* STAIRS AND REQUIREMENTS BY UL

www.armorcastprod.com Tel: (818) 862-3000 Fax: (818) 862-7742

APPLICATION:



1432 EDINGER AVENUE, 3RD FLOOR
TUSTIN, CA 92780

ENGINEER:

DCI PACIFIC
A/E/C WORKS

ARCHITECTURAL & ENGINEERING CONSULTANTS
3000 RAYBURN DRIVE, SUITE 110
TUSTIN, CA 92780

DRAWN BY: HN
CHECKED BY: BK

REVISIONS:

NO.	DATE	DESCRIPTION	BY
0	04/24/18	100% CONSTRUCTION	HN
A	04/17/18	90% CONSTRUCTION	HN

LICENSED ARCHITECT
STATE OF CALIFORNIA
C-11915
REN. 11/19

PROJECT INFORMATION

ORFUL, NODE 50A
CRAN-RL05-ORFUL-50
POLE ID# 4264212E
USID: 189150
NORTH OF GARDNER GROVE, CA 92843

SHEET TITLE:

AMERON POLE

SHEET NUMBER:

P01

REV.	DATE	DESCRIPTION	DRN.	APPR.
A	05/07	REDRAWN, ADDED POLE P/N	A.C.	
B	05/08	UPDATED FOR ORACLE	T.L.	
C	02/10	A/B WERE A-36055, NOW A-307	J.C.	
0	06/15	UPDATED TO NEW DWG. STDS.	L.P.	

"T" LEVEL CONFIG CODES		"H" LEVEL CONFIG CODES	
OPTION CLASS	ENTRY INFO.	OPTION CLASS	ENTRY INFO.
COATING	S	MIX	61
FIN COVER	6554GE	FINISH	5
DOOR SCRS	SC6	BASEPLATE	63250E
DRILL IN MOD.	MOD24	COLLAR	NONE
		POLE TOP CON.	MOD28
		CAST-IN MOD.	MOD3X700

300MM NON-TAPERED BASE PLATE ROUND POLE

POLE DESIGNATION	POLE HEIGHT ABOVE GRADE	OVERALL LENGTH	BOLT CIRCLE	BASE O.D.	ULTIMATE G.L. MOMENT (ft.-lbs.)	POLE WEIGHT (lbs.)
BP300X09	29'-3"	29'-6"	16"	11-13/16"	65,000	2900

1. POLES REQUIRED (P/N: BP300X09-16137), EACH WITH G.WALL BRACKET, ELLIPTICAL ARM (P/N: LAE66A)

- NOTES:
- POLE FINISH: SC6 BLACK & WHITE, LIGHTLY EXPOSED AGGREGATE FINISH WITH PLAT WATER SEALER COATING.
 - ASTM C-150 TYPE III GRAY CEMENT.
 - FC @ 28 DAYS=7,000 PSI, USING SPUN CYLINDER TEST.
 - FC @ 28 DAYS=5,000 PSI, USING ASTM C-31 CYLINDER TEST.
 - POLES MANUFACTURED TO ASTM C-1095-13 SPECIFICATIONS.
 - PROTECTIVE COAT EXPOSED P.C. WIRES AT POLE ENDS.
 - THE POLE DEPICTED ON THIS DRAWING IS DESIGNED TO WITHSTAND THE LOADS IMPARTED BY A SINGLE SIDE MOUNTED TAPERED ELLIPTICAL ALUMINUM ARM (MOD28) OF 0.80 FT. DIA. (37.50 FT. EPA, 25 LBS.) WITH THE ARM HOLDING A DOWNWARD POINTING 10' X 10' SIGN (MOD28) WITH A WEIGHT OF 200 LBS. FT. EPA. 50 POUNDS; THE POLE ALSO SUPPORTS (3) ALUMINUM SCREENS MOUNTED 3' ABOVE THE POLE TOP (NOT TO EXCEED 6.30 FT. EPA. 225 LBS. MAX.) AS DESIGNED PER THE 2013 AASHTO LTS-6 CRITERIA FOR STREET LIGHTING POLES), 2010 CALIFORNIA BUILDING CODE & ASCE 7-05 FOR 80 MPH WIND AND SEISMIC ZONE (3-SECOND GUSTS) & SEISMIC CRITERIA Ss=1.75 & S1=0.6. PLEASE CONTACT & ADVISE AMERON ENGINEERING IF THE INTENDED VALUES EXCEED THESE VALUES.
 - THE NATURE & CHARACTERISTICS OF CONCRETE, SIZE, MOUNT SPACING & DIMENSIONS CAN ONLY BE TAKEN TO THE NEAREST 1/8" HIGH.

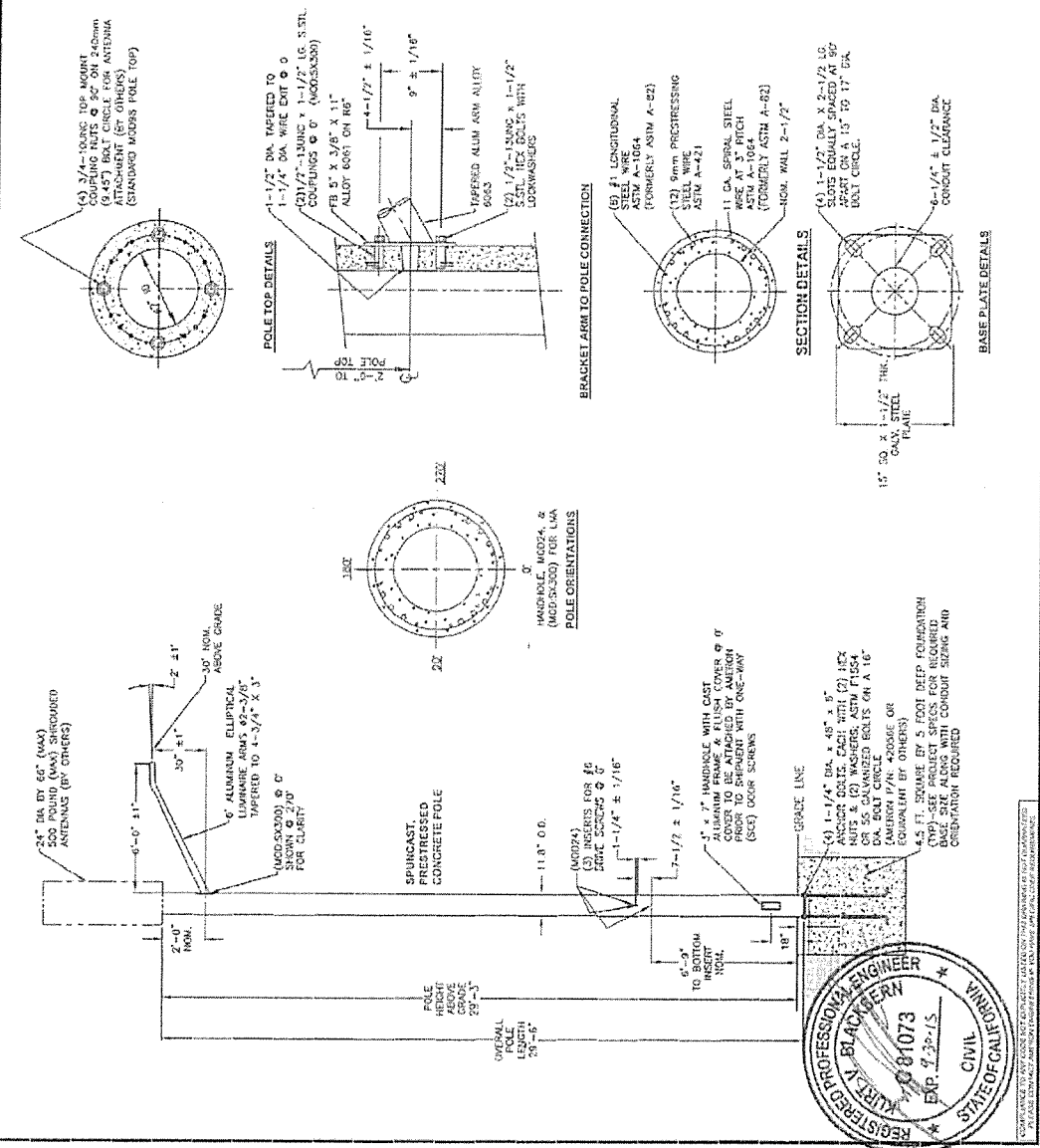
APPROVED BY: _____ DATE: _____

SOUTHERN CALIFORNIA EDISON
BP300X09 POLE WITH SINGLE 6' ARM

THIS DOCUMENT CONTAINS INFORMATION WHICH IS PROPRIETARY TO AMERON. IT SHALL NOT BE REPRODUCED, USED OR DISCLOSED TO ANYONE WITHOUT THE WRITTEN PERMISSION OF AMERON.

AMERON
POLE PRODUCTS

DRAWN: SJB DATE: 10/2003
SCALE: N.T.S. DWG. NO. 040-01277
REV D



APPLICANT:



1452 EDINGER AVENUE, 3RD FLOOR
TUSTIN, CA 92780

ENGINEER:

DCI PACIFIC
A/E/C WORKS


ARCHITECTURAL ENGINEERING & CONSTRUCTION
227 BROADWAY, SUITE 119
TUSTIN, CA 92780

DRAWN BY: HRI
CHECKED BY: BOB

REVISIONS:

REV	DATE	DESCRIPTION	BY
1	04/18/18	REVISED PER IPA	HRI
0	02/07/18	100% CONSTRUCTION	HRI
A	07/25/18	50% CONSTRUCTION	HRI

LICENSEE:

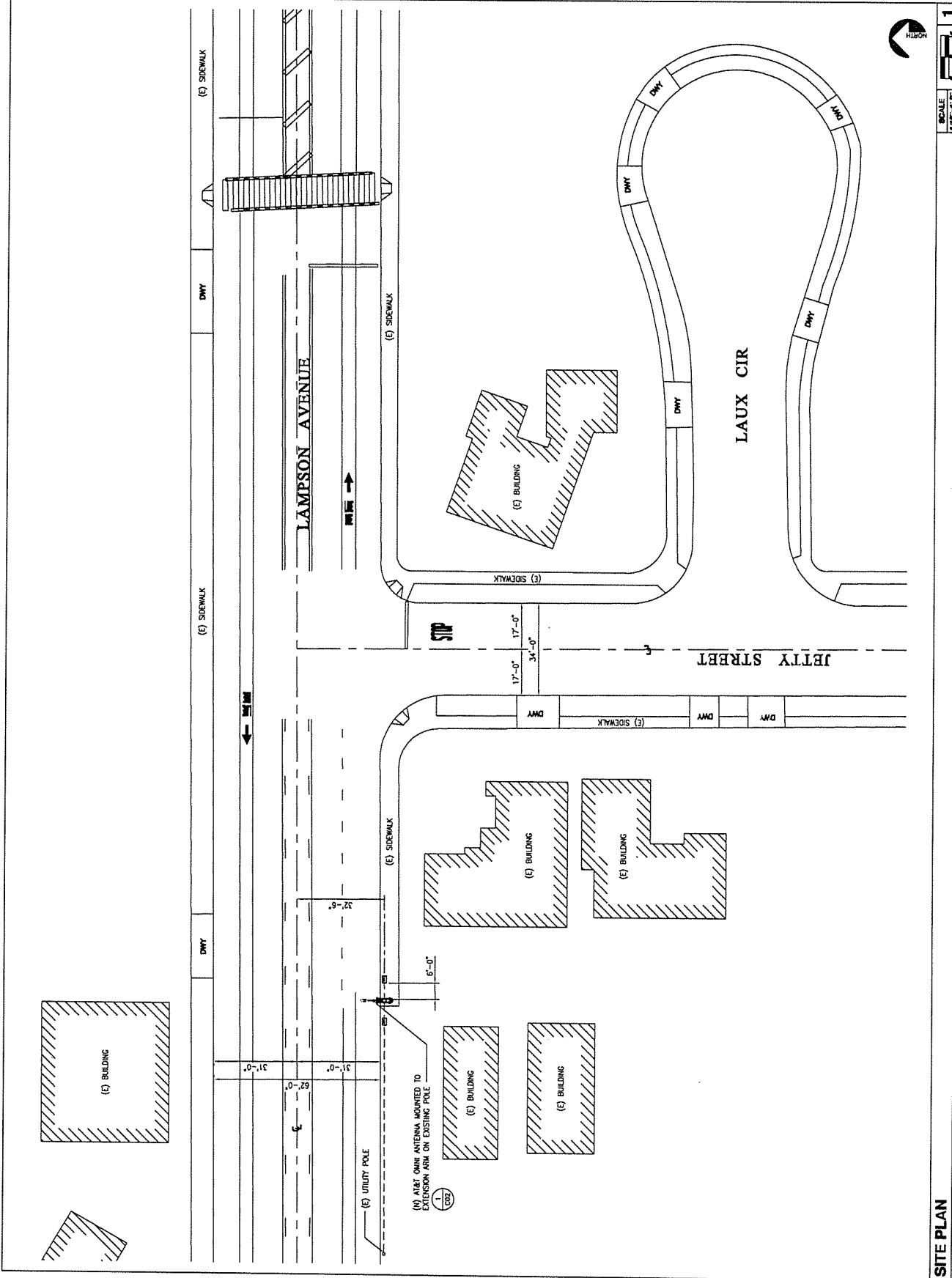


PROJECT INFORMATION:

ORFUL NODE 35A
CRAN-RLOS-ORFUL-35
POLE ID# 4560230E
USID: 189137
1251 JETTY STREET
GARDEN GROVE, CA 92640

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-1




SCALE: 1/8" = 1'-0"

FF 1

SITE PLAN

APPLICANT:



1452 EDINGER AVENUE, 3RD FLOOR
LUSTIN, CA 95760

ENGINEER:

DCI PACIFIC
A/E/C WORKS


ARCHITECTURAL ENGINEERING CONSULTANTS
1000 UNIVERSITY AVENUE, SUITE 1100
SANTA ANA, CALIFORNIA 92705

DRAWN BY: HRN
CHECKED BY: BOB

REVISIONS:

REV	DATE	DESCRIPTION	BY
1	04/18/18	REVISED PER IPA	HRN
0	02/07/18	100% CONSTRUCTION	HRN
A	01/25/18	50% CONSTRUCTION	HRN

LICENSED ARCHITECT
C-18015
REB. 11/19



LICENSURE BOARD
STATE OF CALIFORNIA

PROJECT INFORMATION

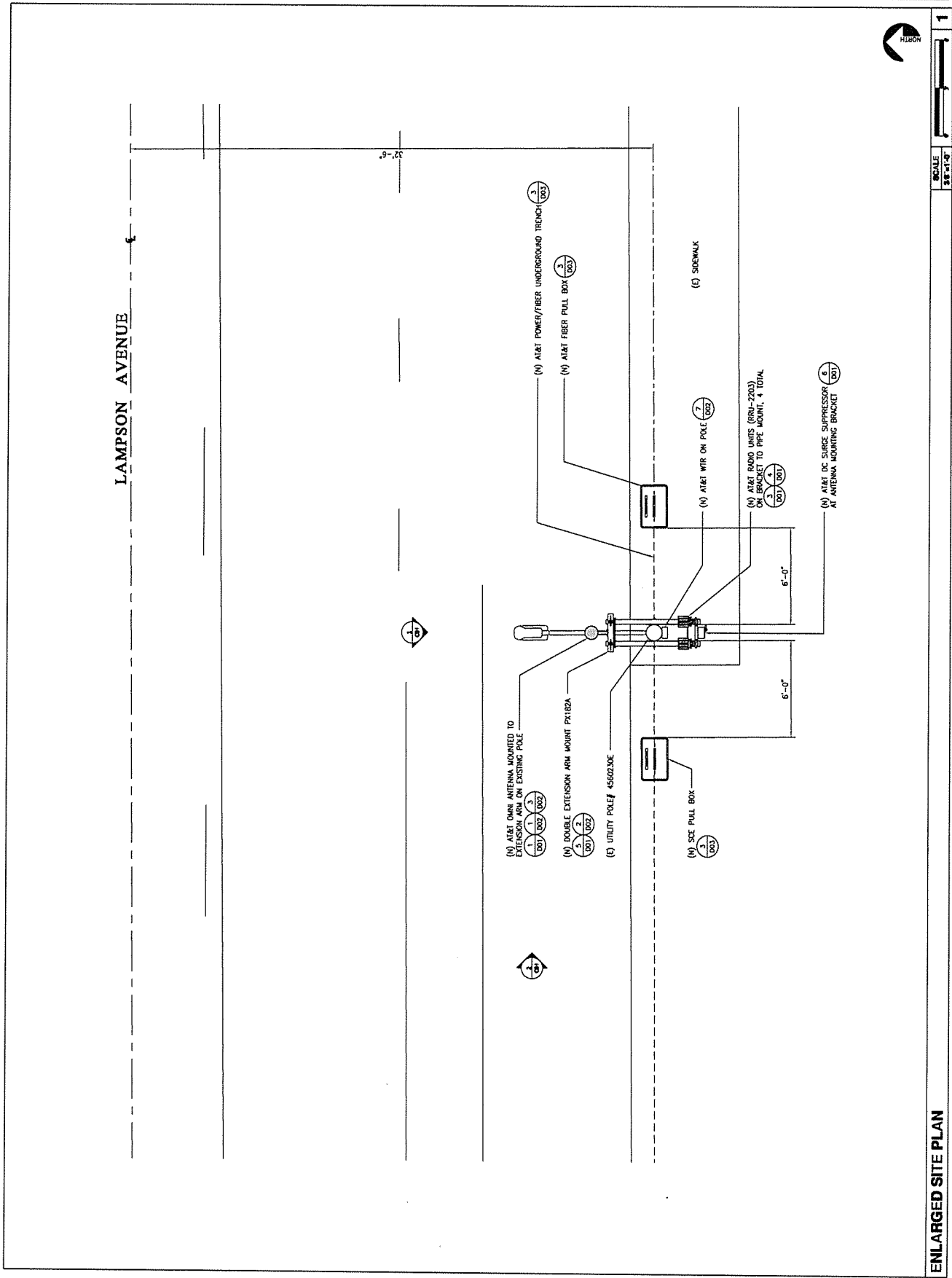
ORFUL NODE 35A
CRAN-RLOS-ORFUL-35
POLE ID# 4560230E
USID: 189137
1501 JEFFY STREET
GARDEN GROVE, CA 92640

SHEET TITLE

ENLARGED SITE PLAN

SHEET NUMBER

C-2




SCALE
3/8" = 1'-0"

ENLARGED SITE PLAN

APPLICANT:



142 EDINGER AVENUE, 3RD FLOOR
LUBI N, CA 92750

ENGINEER:

DCI PACIFIC
A/E/C WORKS


ARCHITECTURE | ENGINEERING | CONSULTING
3000 CENTRAL EXPWAY, SUITE 1100
IRVINE, CA 92614

DRAWN BY: _____ HN
CHECKED BY: _____ BK

REVISIONS

REV	DATE	DESCRIPTION	BY
1	04/18/18	REVISED PER PA	HN
0	02/07/18	100% CONSTRUCTION	HN
A	07/23/18	90% CONSTRUCTION	HN

LICENSER:



PROJECT INFORMATION

ORFUL NODE 35A
CRAN-RLOS-ORFUL-35
POLE ID# 4560230E
USID: 189137
142 EDINGER AVENUE
GARBER GROVE, CA 92640

SHEET TITLE:

PHOTO REFERENCE

SHEET NUMBER:

C-3



POLE ID#: 4560230E

APPLICANT:



1402 EDINGER AVENUE, 3RD FLOOR
LUREN, CA 92780

ENGINEER:

DCI PACIFIC
AIRC WORKS


ARCHITECTURAL ENGINEERING & CONSULTING
REGISTERED PROFESSIONAL ENGINEER
LICENSE NO. 10734

DRAWN BY: _____
CHECKED BY: _____

REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	04/18/18	REVISED PER A/E	HN
0	02/07/18	100% CONSTRUCTION	HN
A	01/25/18	50% CONSTRUCTION	HN

DESIGNER:



PROJECT INFORMATION:

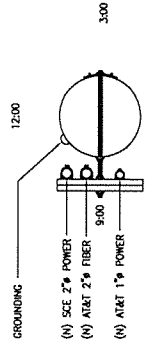
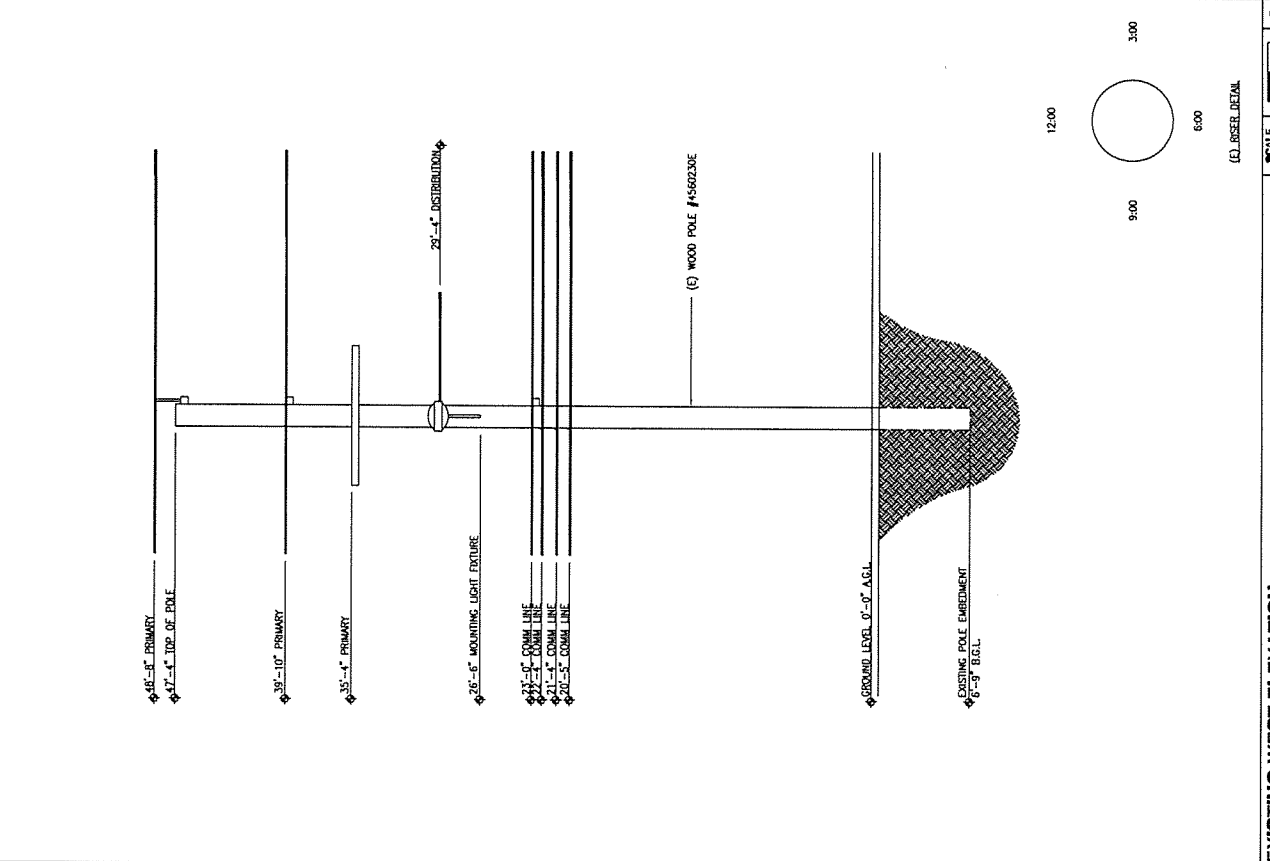
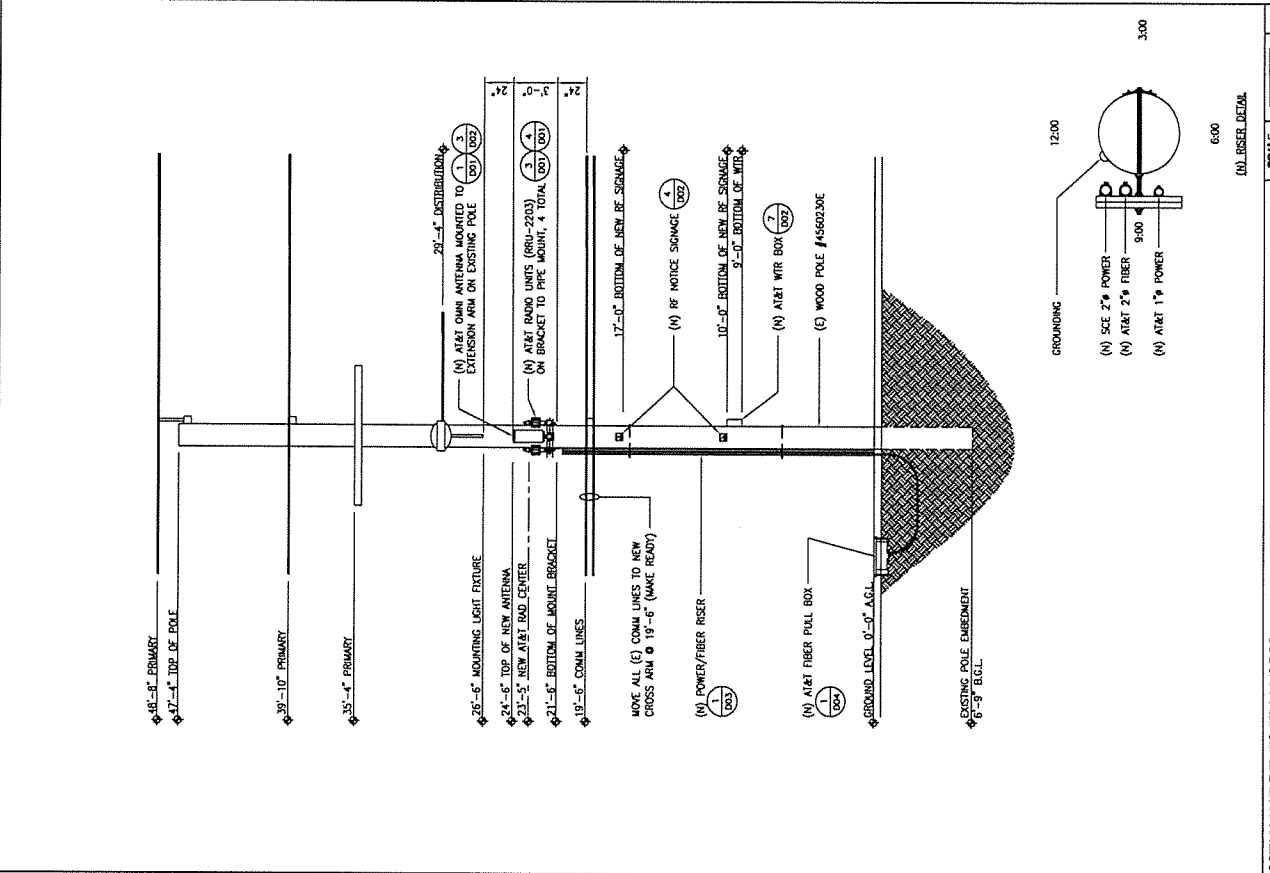
ORFUL NODE 35A
CRAN-RLOS-ORFUL-35
POLE ID# 4560230E
10311
GARDEN GROVE, CA 92840

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

C-4



(D) RISER DETAIL

APPLICANT:



1432 EDINGER AVENUE, 3RD FLOOR
TURIN, CA 92780

ENGINEER:




ARCHITECTURAL ENGINEERING CONSULTANTS
10000 WILSON BLVD, SUITE 100
LOS ANGELES, CA 90024

DRAWN BY: HRN
CHECKED BY: BOX

REV	DATE	DESCRIPTION	BY
1	04/18/18	REVISED PER .IPA	HRN
0	02/07/18	100% CONSTRUCTION	HRN
X	01/25/18	90% CONSTRUCTION	HRN

LICENSED ARCHITECT



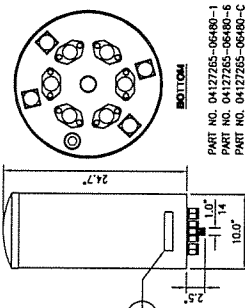
VINCENT J. BURT
C-18115
EXP. 11/19

PROJECT INFORMATION

ORFUL NODE 35A
CRAN-RLOS-ORFUL-35
POLE ID# 4560230E
USID: 189137
1432 EDINGER AVENUE
GARDEN GROVE, CA 92840

SHEET TITLE:
DETAILS

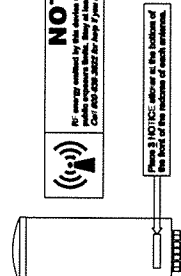
SHEET NUMBER:
D-1



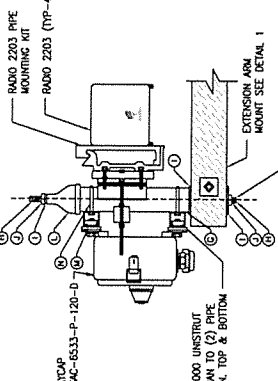
**GALTRONICS
EXTENT™ GQ2410-06621 PSEUDO
OMNI CANISTER ANTENNA**

MECHANICAL SPECIFICATIONS
DIMENSIONS (WxDxH): 24.9 x 1.0 INCHES (628 x 254 mm)
WEIGHT EXCL. MOUNTING BRACKETS: 594 (19.3) LB
NO. OF CONNECTORS: 10 X 4.3-10 DIN FEMALE
CONNECTOR TYPE & FREQUENCY BAND [MHz]:
4 X 4.3-10 DIN FEMALE (1695-2180/2180-2400) MHz
2 X 4.3-10 DIN FEMALE (3550-5700) MHz
2 X 4.3-10 DIN FEMALE (5130-5950) MHz
MAX WIND SPEED: 150 mph
ASA
RODME MATERIAL: 30X19X19" (762x48x483)mm
SHIPPING DIMS (LxWxD): 26 lbs (12kg)
GROSS SHIPPING WEIGHT:

3 GALTRONICS GQ2410-06621 OMNI



NOTICE
For average mounting height, refer to the antenna's mounting bracket. For maximum height, refer to the antenna's mounting bracket. For minimum height, refer to the antenna's mounting bracket. For more information, refer to the antenna's mounting bracket.

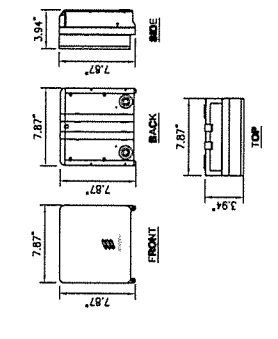


3 RADIO MOUNTING DETAIL

MECHANICAL SPECIFICATIONS
DIMENSIONS (WxDxH): 7.87" x 3.94" x 7.87", INCLUDING MOUNTING BRACKET
VOLUME AND WEIGHT: 4 LITRES AND < 4.5 LB (9.92 LB)
MOUNTING: WALL AND POLE MOUNT

CALLOUT	QTY	DESCRIPTION
G	2	X" x 3" O.D. GALVANIZED PIPE
H	2	X" x 5/8" GALVANIZED THROUGH BOLT
I	4	3-1/2" x 3-1/2" SQUARE WASHER
J	2	5/8" GALVANIZED SQUARE WASHER
K	2	5/8" GALVANIZED SQUARE WASHER
L	2	3" GALVANIZED CAP AND THREAD
M	2	X" x 5/8" SPRINGS NUT
N	2	1/2" U BOLT

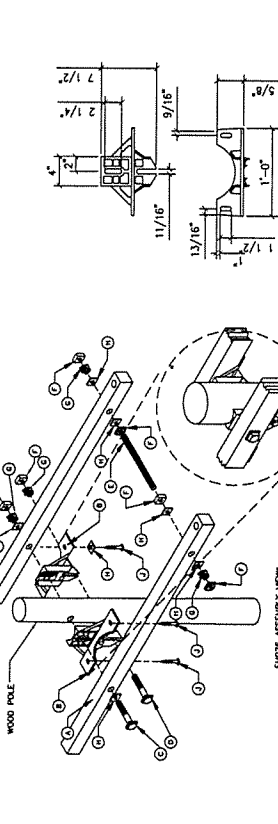
4 ERICSSON - MICRO RADIO 2203



MECHANICAL SPECIFICATIONS
DIMENSIONS (WxDxH): 7.87" x 3.94" x 7.87", INCLUDING MOUNTING BRACKET
VOLUME AND WEIGHT: 4 LITRES AND < 4.5 LB (9.92 LB)
MOUNTING: WALL AND POLE MOUNT

INHERENT SPECIFICATIONS:
ANTENNA PORTS: 2 x 4.3-10(F)
CIRCUIT BOARD: 2 x 2.5/2.5/10 GHz (EXCHANGEABLE SFP MODULES)
EXTERNAL ANTENNA: 6
EXTERNAL ALARM: 1
FIELD GROUNDING: 1

ELECTRICAL SPECIFICATIONS:
AC SUPPLY: 100-250 VAC
POWER OUTPUT: 57 WATTS MAX
MAX HEAT DISSIPATION: 80 WATTS
MINIMUM AC FUSE RATING: 6 AMP



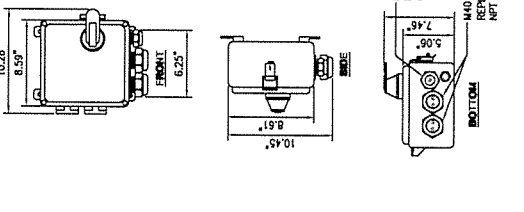
5 DOUBLE EXTENSION ARM MOUNT PX182A

MECHANICAL SPECIFICATIONS
DIMENSIONS (WxDxH): 10.28" x 8.58" x 6.25"

CALLOUT	QTY	DESCRIPTION
A	2	DF WOOD X-ARM REA TYPE 04, 3-5/8" x 4-5/8" x 6"
B	2	PX182A
C	1	MACHINE BOLT X" x 5/8" ASTM A307
D	1	MACHINE BOLT X" x 5/8" ASTM A307
E	1	DOUBLE ARM BOLTS X" x 5/8" ASTM A307
F	6	SQUARE NUT 5/8"
G	4	DOUBLE COIL SPRING WASHER 2-1/4"-2-1/4" x 1/4" x 3/16"
H	6	FLAT SQUARE WASHER 2-1/4"-2-1/4" x 1/4" x 3/16"
J	4	LAC BOLTS X" x 5/8" ASTM A307

NOTES:
1. 5/8" MACHINE BOLTS WILL VARY IN LENGTH DUE TO POLE DIAMETER.
2. 5/8" DOUBLE ARM BOLTS WILL VARY IN LENGTH DUE TO POLE DIAMETER.
3. CROSS ARM BRACKET ASSEMBLY SHOWN WITH BRACKET AND CROSS ARM BRACKET ASSEMBLY PROVIDED WITH BRACKET AND CROSS ARM MAY BE OFFSET PER E4019 TO ACCOMMODATE FIBER OPPOSITE SIDE OF POLE.
4. CROSS ARM MAY BE OFFSET PER E4019 TO ACCOMMODATE FIBER OPPOSITE SIDE OF POLE.

6 RAYCAP SURGE PROTECTION



RAYCAP - RSCAC-6533-P-120-D

MECHANICAL SPECIFICATIONS
DIMENSIONS (WxDxH): 10.28" x 8.58" x 6.25"

CONNECTION TERMINAL (POWER): COMPRESSION LUG #6 - #14 AWG (13 - 24kV)
TERMINAL BLOCK #10-1/26 AWG (6 - 0.14MM2)
ENVIRONMENTAL INGRESS PROTECTION (IP) RATING: NEMA 4X
STORAGE TEMPERATURE: -40 TO +140 C
OPERATING TEMPERATURE: -40 TO +140 C
ENCLOSURE TYPE (OUTDOOR): POLYCARBONATE: UL 94V-0 RATED
ENCLOSURE DIMENSION: (L x W x H) 8.58" x 5.08" x 10.08"
WEIGHT: 2.25 LBS (1.02KG) [217 x 126 x 256 MM]

ELECTRICAL:
SURGE PROTECTION DEVICE (SPD) TYPE TO IEC STRIKESORB 30-A
NUMBER OF CIRCUITS PROTECTED: 4
SURGE PROTECTIVE DEVICE (SPD) TYPE PER UL 1449 4TH EDITION: TYPE 2
SURGE PROTECTIVE DEVICE (SPD) CLASS TO IEC 61643-11: CLASS II
NOMINAL OPERATING VOLTAGE (UN): 120 V
NOMINAL DISCHARGE CURRENT (IN) PER UL 1449 4TH EDITION: 20 KA 8/20 MS
MAXIMUM DISCHARGE CURRENT [MAX] PER IEC 61643-11 60 KA 8/20 MS
MAXIMUM CONTINUOUS OPERATING VOLTAGE [UC] (MCOV) 150V
VOLTAGE PROTECTION LEVEL (UPL) PER IEC 61643-11: 700V
SUPPRESSION TECHNOLOGY: MOV
PROTECTION MODES (DUAL MODE): LINE TO NEUTRAL, NEUTRAL TO GROUND
STRIKESORB MODULES ARE COMPLIANT TO THE FOLLOWING SURGE PROTECTIVE DEVICE (SPD) STANDARDS: 2011, IEC 61643-11: 2011, EN 61643-11: 2012, IEEE C62.11: 2005, IEEE C62.41: 2002, IEEE C62.45: 2002, NEMA-LS-1 CERTIFICATION, UL, VDE, CE

1 OMNI ANTENNA DISCLAIMER LABEL

2


3 RADIO MOUNTING DETAIL

4 ERICSSON - MICRO RADIO 2203

5 DOUBLE EXTENSION ARM MOUNT PX182A

6 RAYCAP SURGE PROTECTION

APPLICANT:



1432 EDMENBARGER AVENUE, 3RD FLOOR
TUSTIN, CA 92780

ENGINEER:

DCI PACIFIC
AIEIC WORKS


ARCHITECTURAL ENGINEERING CONSULTANTS
1000 EAST 17TH AVENUE, SUITE 1119
DENVER, CO 80202

DRAWN BY: HN
CHECKED BY: BOX

REVISIONS:

REV	DATE	DESCRIPTION	BY
1	04/18/18	REVISED PER IFA	HN
0	02/07/18	100% CONSTRUCTION	HN
X	01/23/18	50% CONSTRUCTION	HN

LICENSED ARCHITECT



REGISTERED PROFESSIONAL ENGINEER

PROJECT INFORMATION:

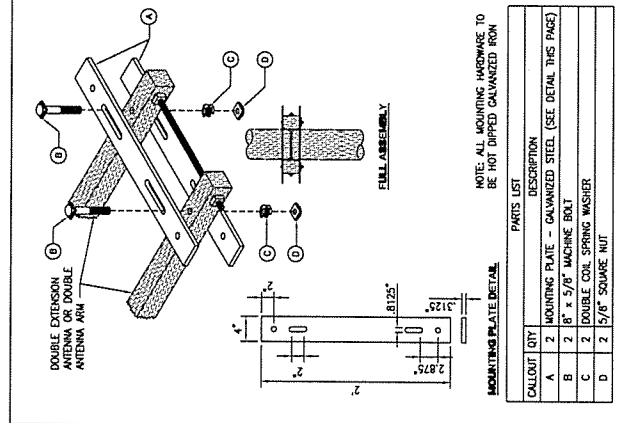
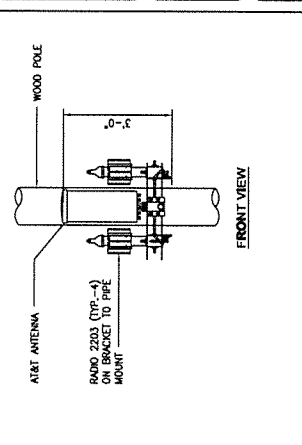
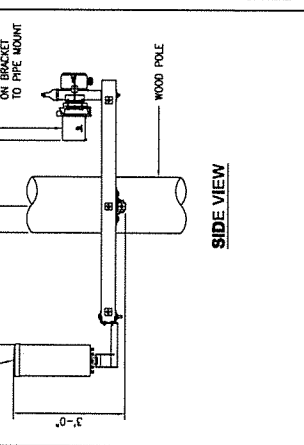
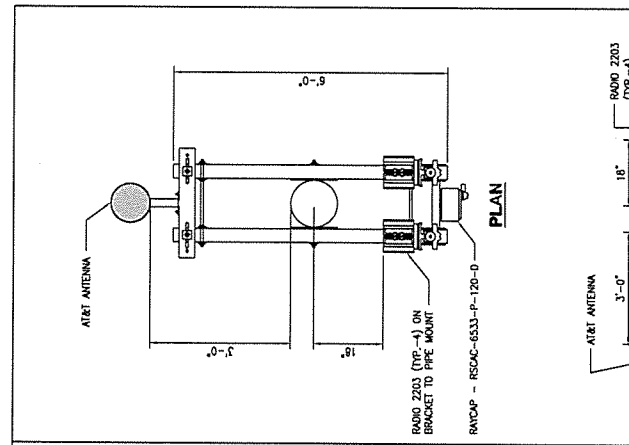
ORFUL NODE 35A
CRAN-RLOS-ORFUL-35
POLE ID# 4560230E
USID: 189137
1432 EDMENBARGER AVENUE
TUSTIN, CA 92780

SHEET TITLE:

DETAILS

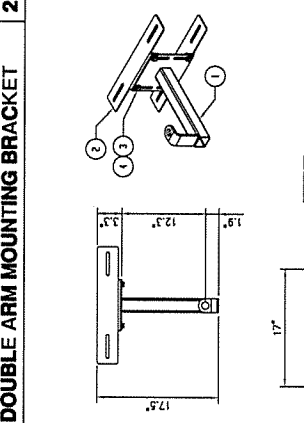
SHEET NUMBER:

D-2



NOTE: ALL MOUNTING UNLESS OTHERWISE TO BE HOT DIPPED GALVANIZED STEEL


CALLOUT	QTY	DESCRIPTION
A	2	MOUNTING PLATE - GALVANIZED STEEL (SEE DETAIL THIS PAGE)
B	2	8" x 5/8" MACHINE BOLT
C	2	DOUBLE COIL SPRING WASHER
D	2	5/8" SQUARE NUT



PARTS LIST

ITEM	PART NO.	DESCRIPTION	QTY.	WEIGHT
1	MTC-101303	WELDMENT, SUPPORT ARM, SIDE MOUNT	1	7.09 LBS
2	MTC-101303	BRACKET, SIDE MOUNT, GALTRONICS G02410-06821	2	3.12 LBS
3	GB-03105	3/8" x 1" GALV BOLT KIT	4	0.05 LBS
4	GW-03	3/8" GALV FLAT WASHER	4	0.01 LBS

CAUTION



AT&T operates antennas and other structures. Above This Point you are entering an area where radio frequency (RF) fields may exceed the FCC Occupational Exposure Limits. Follow safety guidelines for working in an RF environment. Contact AT&T at 800-452-8222 and follow safety instructions prior to performing any maintenance or repair above this point.

Caution Sign 18" High by AT&T (see 18180)

NOTES:

- RF RADIATION SAFETY SIGNS SHALL BE POSTED ONLY WHEN REQUIRED BY RF ENGINEERING OR LOCAL JURISDICTION. RECOMMENDED SAFETY SIGNS SHALL INDICATE THE TYPE AND LOCATION OF RF RADIATION. SAFETY SIGNS SHALL BE POSTED WHEN REQUIRED AT A SITE. AT&T SHALL BE NOTIFIED IF A SIGN IS REQUIRED TO BE INSTALLED AT A SITE.
- RF RADIATION NOTICE SAFETY SIGN SYMBOLS AND COLORING MUST CONFORM TO THE ANSI STANDARD Z359.3 FOR RADIO FREQUENCY ENERGY AND CURRENT FLOW SYMBOLS.

RF NOTICE SIGNAGE

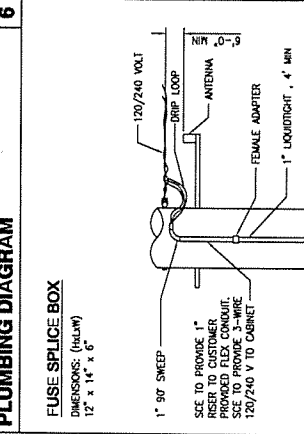
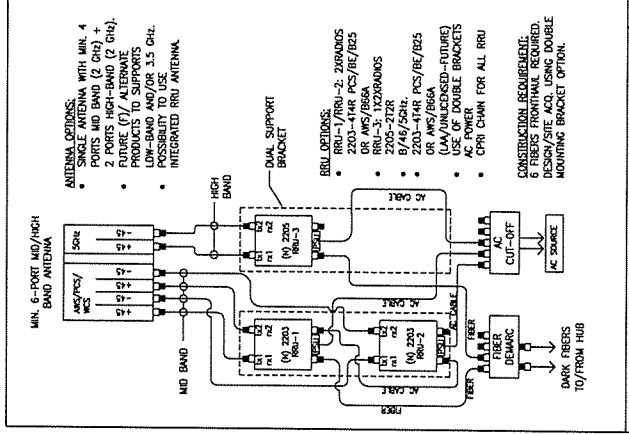
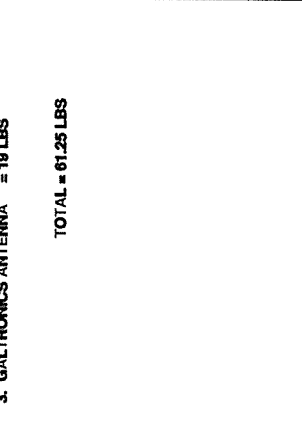
TOTAL POWER USAGE: 547.2 WATTS

1. (4) RRU-2203 = 2.25 LBS
2. (4) 10 AMP BREAKER = 40 LBS

POLE LOADING:

1. RAYCAP SPD = 2.25 LBS
2. (4) RRU-2203 = 40 LBS
3. GALTRONICS ANTENNA = 19 LBS

TOTAL = 61.25 LBS



POWER REQUIREMENT & POLE LOADING

WTR/FSB ON POLE

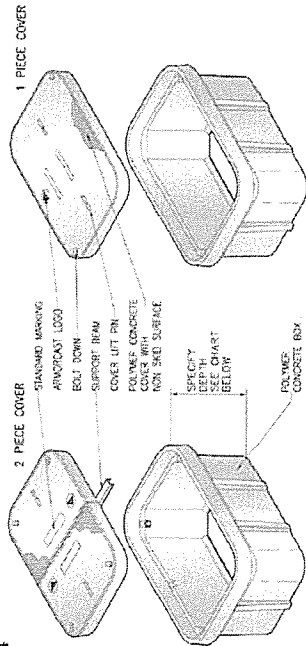
24" x 36" BOX ASSEMBLY 12" to 42" DEPTHS

POLYMER CONCRETE

A6001974



ARMORCAST PRODUCTS COMPANY



24"W x 36"L BOX ASSEMBLIES Specify Depth Below

DESCRIPTION	NOMINAL SIZE W x L x D	ANSI LOAD RATING	ANSI TIER	PART NUMBER	APPROX. WEIGHT	PALLET QTY.
Box & Cover Assembly	24" x 36" x 12"	20K	8	A6001974AFCX12	195 lbs.	8
Box & Cover Assembly	24" x 36" x 18"	20K	8	A6001974AFCX18	257 lbs.	8
Box & Cover Assembly	24" x 36" x 24"	20K	8	A6001974AFCX24	321 lbs.	4
Box & Cover Assembly	24" x 36" x 30"	20K	8	A6001974AFCX30	385 lbs.	2
Box & Cover Assembly	24" x 36" x 36"	20K	8	A6001974AFCX36	449 lbs.	2
Box & Cover Assembly	24" x 36" x 42"	20K	8	A6001974AFCX42	513 lbs.	2

COMPONENTS

DESCRIPTION	NOMINAL SIZE W x L x D	ANSI LOAD RATING	ANSI TIER	PART NUMBER	APPROX. WEIGHT	PALLET QTY.
Replacement Covers	24" x 36" x 12"	10K	8	A6001075	97 lbs.	20
Replacement Covers	24" x 36" x 18"	10K	8	A6001076	132 lbs.	20
Replacement Covers	24" x 36" x 24"	10K	8	A6001077	167 lbs.	20
Replacement Covers	24" x 36" x 30"	10K	8	A6001078	202 lbs.	20
Replacement Covers	24" x 36" x 36"	10K	8	A6001079	237 lbs.	20
Replacement Covers	24" x 36" x 42"	10K	8	A6001080	272 lbs.	20

* Boxes are Open Bottom and Stackable, and available with Solid Bottoms.
* For sizes not shown please contact Armorcast Products for more information.

THIS PRODUCT IS LISTED IN THE UL CATALOG
STATEMENTS AND REGULATIONS BY UL

www.armorcastprod.com

Tel: (818) 982-3600 Fax: (818) 982-7742

APPLICANT:

1482 EMBERRIDGE AVENUE, 3RD FLOOR
TURIN, CA 92780

ENGINEER:

ARCHITECTURAL ENGINEERING CONSULTANTS
3000 CENTURY EXPRESSWAY, SUITE 100
SAN ANTONIO, TEXAS 78241

DRAWN BY: HN
CHECKED BY: BOX

REVISIONS:

REV	DATE	DESCRIPTION	BY
1	04/18/18	REVISED PER IFA	HN
0	02/07/18	100% CONSTRUCTION	HN
X	01/23/18	50% CONSTRUCTION	HN

LICENSED ARCHITECT

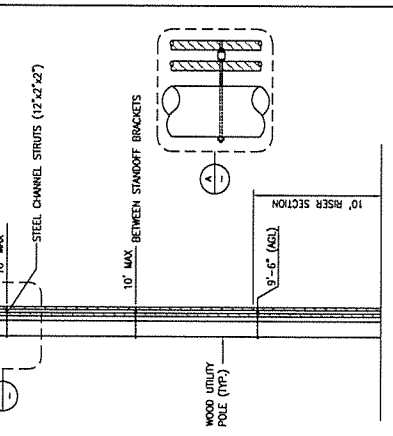
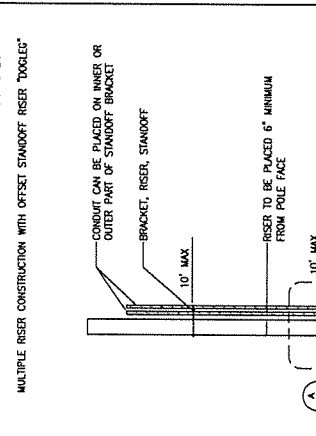
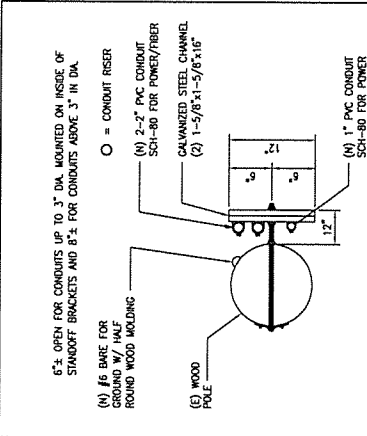
ENGINEER

PROJECT INFORMATION

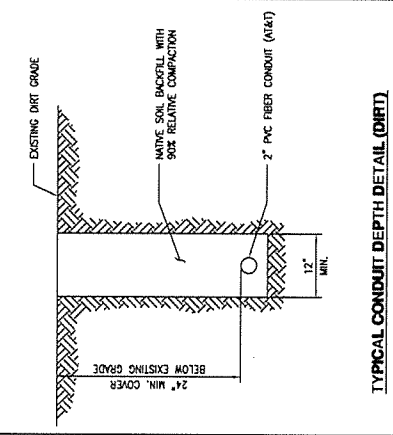
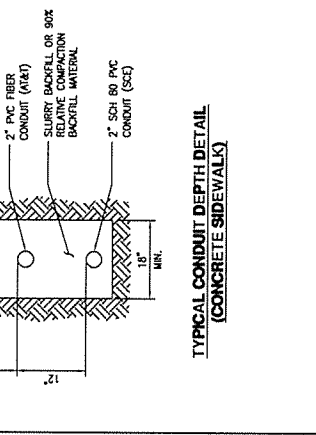
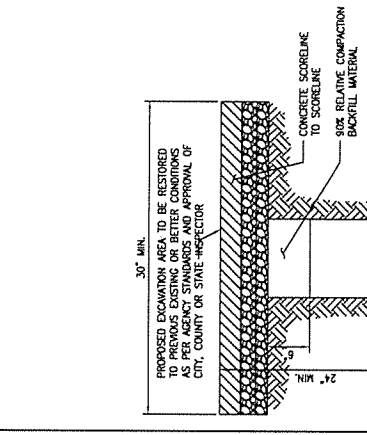
ORFUL NODE 35A
CRAN-RLOS-ORFUL-35
POLE ID# 4560230E
USID: 189137
454 CITY STREET
GARDEN GROVE, CA 92840

SHEET TITLE:
DETAILS

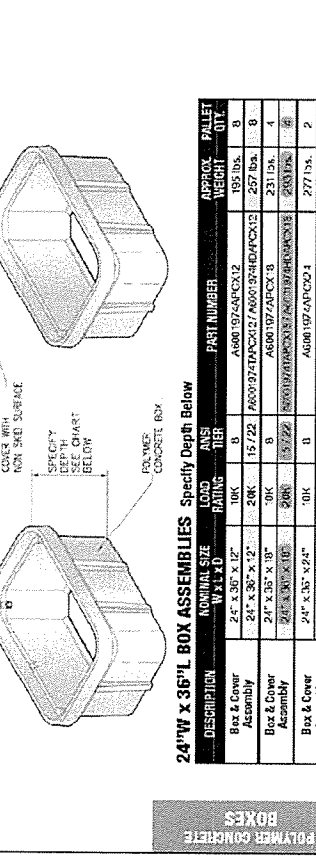
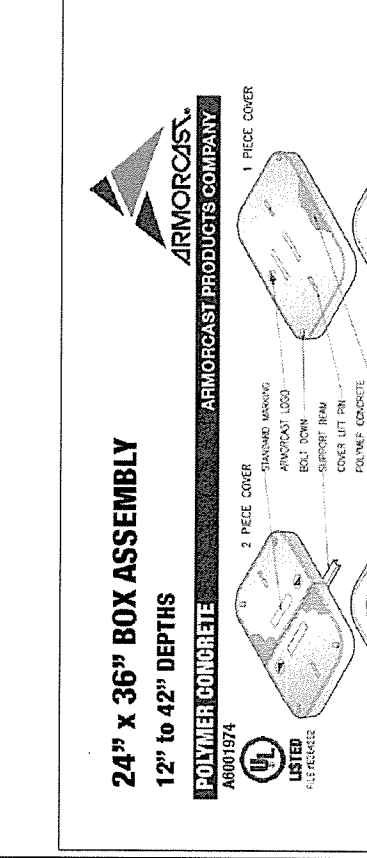
SHEET NUMBER:
D-3



1 RISER STANDOFF BRACKET



2 TRENCHING DETAIL



3 TRENCHING DETAIL

APPLICANT:



1452 EDINGER AVENUE, 3RD FLOOR
TURBINE, CA 92780

ENGINEER:

DCI PACIFIC
A/E/C WORKS

ARCHITECTURE | ENGINEERING | CONSTRUCTION
MANAGEMENT | INTERIOR DESIGN

DRAWN BY: []
CHECKED BY: []
DATE: []

REV	DATE	DESCRIPTION	BY
1	04/18/18	REVISED PER IPA	RN
0	02/07/18	100% CONSTRUCTION	RN
A	01/23/18	50% CONSTRUCTION	RN

LICENSE NUMBER:



PROJECT INFORMATION:

ORFUL NODE 35A
CRAN-RLOS-ORFUL-35
POLE ID# 4560230E
USID# 189137
1254 1ST ST
GARDEN GROVE, CA 92840

SHEET TITLE:

TRAFFIC CONTROL PLAN

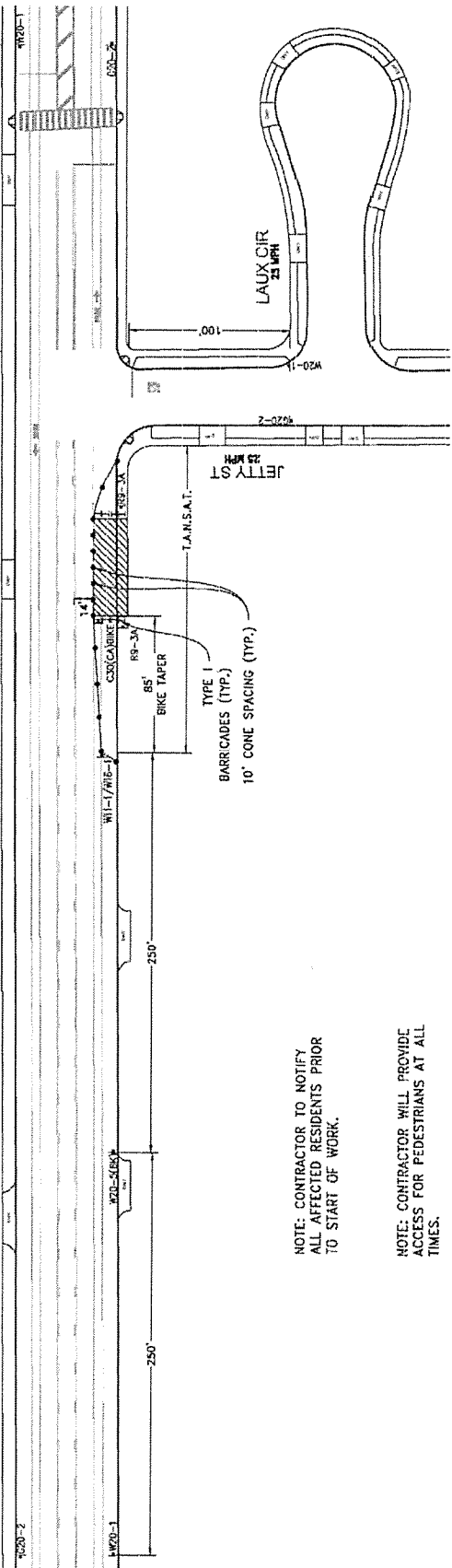
SHEET NUMBER:

TCP-2



NOTE: CONTRACTOR TO COORDINATE ALL WORK WITH SCHOOL PRIOR TO START OF WORK.

LAMPSON AVE
35 MPH



NOTE: CONTRACTOR TO NOTIFY ALL AFFECTED RESIDENTS PRIOR TO START OF WORK.

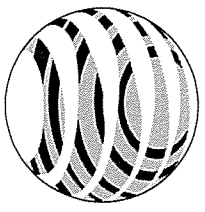
NOTE: CONTRACTOR WILL PROVIDE ACCESS FOR PEDESTRIANS AT ALL TIMES.

REF: CAMUTCD 2014 EDITION - PAGE#1397

1221 S. 26TH ST SAN DIEGO, CA 92113 OFFICE: (858) 259-0300 FAX: (858) 259-0357	JAVIER VAZQUEZ JR DRAWN BY:	35	POSTED SPEED LIMIT (MPH)
	PROJECT NUMBER: DCI PACIFIC COMPANY: Hiep Nguyen	250	SIGN SPACING (FEET)
	PROJECT WISE: January 18, 2018	245	TAPER LENGTH (FEET)
	DATE:	35	CONE SPACING (FEET)
SITE NUMBER: CRAN_RLOS_ORFUL_35	TRAFFIC CONTROL PLANS		
PROJECT INFORMATION: DCI PACIFIC COMPANY: Hiep Nguyen	CITY OF GARDEN GROVE		
PROJECT CONTRACT: 714.928.1407 PHONE	799 - B5	SHEET 1 OF 1	

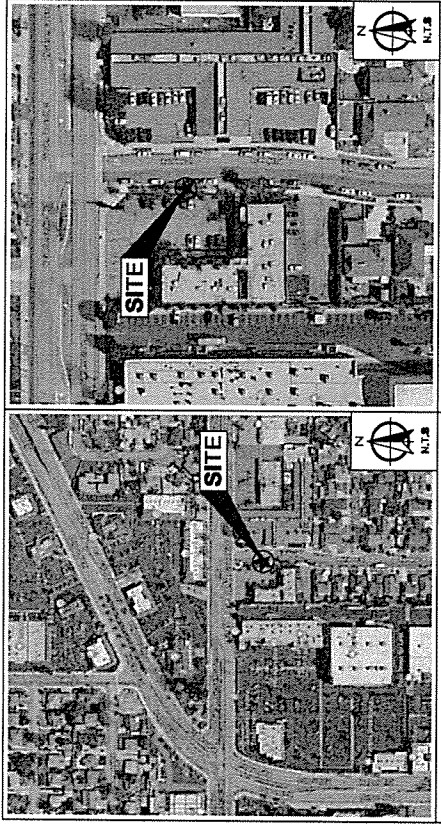


SITE NAME: ORFUL NODE 51A
SITE NUMBER: CRAN-RLOS-ORFUL-51
PROJECT: CRAN/ SMALL CELL
USID #: 188516
PACE #: MRLOS045368



AT&T

POLE TYPE: (N) STREET LIGHT POLE
POLE ID #: NONE
12302 GARDEN GROVE BOULEVARD
GARDEN GROVE, CA 92843



DRIVING DIRECTIONS FROM AT&T JUSTIN OFFICE:

1. MERGE ONTO CA-55 N/STATE RTE 55 N
2. TAKE EXIT 108 TO MERCE ONTO I-5 N TOWARD SANTA ANA
3. TAKE EXIT 106 TO MERCE ONTO CA-25 W TOWARD LONG BEACH
4. CONTINUE ON HARBER BLVD. DRIVE TO W GARDEN GROVE BLVD
5. TURN RIGHT ONTO HARBER BLVD
6. TURN RIGHT ONTO W GARDEN GROVE BLVD
7. DESTINATION WILL BE ON THE RIGHT
8. DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

NOTE:
 ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CITY OF GARDEN GROVE SPECIFICATIONS IN THESE PLANS IS TO BE CONSIDERED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

1. 2016 CALIFORNIA ADMINISTRATIVE CODE (CAC)
2. 2016 CALIFORNIA BUILDING CODE (CBC)
3. 2016 CALIFORNIA ELECTRICAL CODE (CEC)
4. 2016 CALIFORNIA MECHANICAL CODE (CMC)
5. 2016 CALIFORNIA ENERGY CODE (CEC)
6. 2016 CALIFORNIA GREEN CODE (CGC)
7. 2016 CALIFORNIA PLUMBING CODE (CPC)
8. 2016 CALIFORNIA REFERENCES STANDARDS CODE

HANDING REQUIREMENTS:
 FACTORY IS UNWARRANTED AND NOT FOR HUMAN HABITATION. HANDCAPPED ACCESS NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA ADMINISTRATIVE STATE CODE PART 2, TITLE 24, CHAPTER 11B, SECTION 1108B.

CODE COMPLIANCE

THE FACILITY IS UNWARRANTED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF GARDEN GROVE NO SANITARY SEWER SERVICE. POTABLE WATER OR OTHER DISPOSAL IS REQUIRED AND NO COMMERCIAL STORAGE IS NEW.

GENERAL NOTES

PROPERTY OWNER: PUBLIC RIGHT OF WAY

APPLICANT: AT&T WIRELESS
 1452 EDINGER AVENUE, 3RD FLOOR
 TUSTIN, CA 92780

APPROVED BY: 33.773918 (33° 46' 26.1046")
 -117.917775 (-117° 55' 3.97")

APR F: CITY OF GARDEN GROVE
JURISDICTION: PUBLIC RIGHT OF WAY
CURRENT ZONE: TELECOMMUNICATION FACILITY IN RIGHT OF WAY (ROW)

PROPOSED USE:

SITE INFORMATION

PROJECT MANAGER: AT&T WIRELESS
 1452 EDINGER AVENUE, 3RD FLOOR
 TUSTIN, CA 92780
 CONTACT: DAN WOTONILEX
 PHONE: 714-721-3010
 EMAIL: TW599@ATT.COM

ENGINEER: BECHTEL INFRASTRUCTURE AND POWER CORP.
 16008 ARNSTRONG AVENUE, SUITE 225
 IRVINE, CA 92606
 CONTACT: JAMES WAMBEL
 PHONE: 949-372-4445
 EMAIL: JAMES@BECHTEL.COM

REGISTERED ELECTRICAL ENGINEER: BECHTEL INFRASTRUCTURE AND POWER CORP.
 1452 EDINGER AVENUE, 3RD FLOOR
 TUSTIN, CA 92780
 CONTACT: DAN WOTONILEX
 PHONE: 714-721-3010
 EMAIL: TW599@ATT.COM

IF USING 11"X17" PLOT, DRAWINGS WILL BE HALF SCALE

CONSTRUCTION DRAWING

THE FOLLOWING RULES, SPECIFICATIONS AND CODES SHALL BE OBSERVED AND ENFORCE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS SHALL BE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY INCURE CHARGES OR MONITORINGS.

APPROVED BY: _____ DATE: _____

AT&T RF ENGINEER: _____
 AT&T OPERATIONS: _____
 SITE ACQUISITION MANAGER: _____
 PROJECT MANAGER: _____
 ZONING VENDOR: _____
 LEASING VENDOR: _____
 CONSTRUCTION MANAGER: _____
 A/E MANAGER: _____
 PROPERTY OWNER: _____

APPROVALS

AT&T PROPOSES TO INSTALL A NEW WIRELESS FACILITY. THE SCOPE WILL CONSIST OF THE FOLLOWING:

1. INSTALL (1) NEW STREET LIGHT POLE TO REPLACE EXISTING OPENED UNIT FOR POST.
2. INSTALL (1) 4"X4" CONCRETE FOUNDATION FOR NEW CONCRETE POLE.
3. INSTALL (1) 4"X4" CONCRETE FOUNDATION FOR NEW CONCRETE POLE.
4. INSTALL (1) 4"X4" CONCRETE FOUNDATION FOR NEW CONCRETE POLE.
5. INSTALL (1) 4"X4" CONCRETE FOUNDATION FOR NEW CONCRETE POLE.
6. INSTALL (1) NEW BOX W/BOX W/BOX UNDERGROUND 17.5"X17.5" PULL BOX.
7. INSTALL (1) NEW TRENCH FOR 17.5"X17.5" PULL BOX.
8. INSTALL (1) NEW TRENCH FOR 17.5"X17.5" PULL BOX.
9. TRENCH FOR TRAILER AND POWER FROM UTILITY PROVIDERS.

PROJECT DESCRIPTION

SHEET	DESCRIPTION
T-1	TITLE SHEET
T-2	GENERAL NOTES, LEGEND AND ABBREVIATIONS
C-1	SITE PLAN
C-2	ENLARGED BITE PLAN
C-3	PHOTO REFERENCE & EXISTING ELEVATION
C-4	NEW ELEVATIONS
D-1	DETAILS
D-2	DETAILS
D-3	DETAILS
E-1	ELECTRICAL AND GROUNDING DETAILS
TOP-1	TRAFFIC CONTROL PLAN

SHEET INDEX

SHEET	DESCRIPTION
T-1	TITLE SHEET
T-2	GENERAL NOTES, LEGEND AND ABBREVIATIONS
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C-3	PHOTO REFERENCE & EXISTING ELEVATION
C-4	NEW ELEVATIONS
D-1	DETAILS
D-2	DETAILS
D-3	DETAILS
E-1	ELECTRICAL AND GROUNDING DETAILS
TOP-1	TRAFFIC CONTROL PLAN

DO NOT SCALE DRAWINGS

SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

APPLICANT:

1452 EDINGER AVENUE, 3RD FLOOR
 TUSTIN, CA 92780

ENGINEER:

ARCHITECTURAL ENGINEERING CONSULTANTS
 10000 UNIVERSITY AVENUE, SUITE 110
 LOS ANGELES, CA 90024

DRAWN BY: _____
CHECKED BY: _____

REVISIONS:

REV	DATE	DESCRIPTION	BY
0	04/25/18	100% CONSTRUCTION	EJ
A	03/27/18	90% CONSTRUCTION	PHI

LICENSEE:

PROJECT INFORMATION:

ORFUL NODE 51A
 CRAN-RLOS-ORFUL-51
 POLE ID# NONE
 USID: 188516
 12302 GARDEN GROVE BLVD
 GARDEN GROVE, CA 92843

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T-1

APPLICANT:



1482 EDMUNDE AVENUE, 3RD FLOOR
TUSTIN, CA 92780

ENGINEER:


DCI PACIFIC
ARCHITECTURE | INTERIOR DESIGN | LANDSCAPE ARCHITECTURE

DRAWN BY: HRN
CHECKED BY: BOB

REVISIONS:

REV	DATE	DESCRIPTION	HRN	BOB
0	04/25/18	100% CONSTRUCTION	EJ	
A	10/27/18	90% CONSTRUCTION	HRN	

LICENSED ARCHITECT



PROJECT INFORMATION:

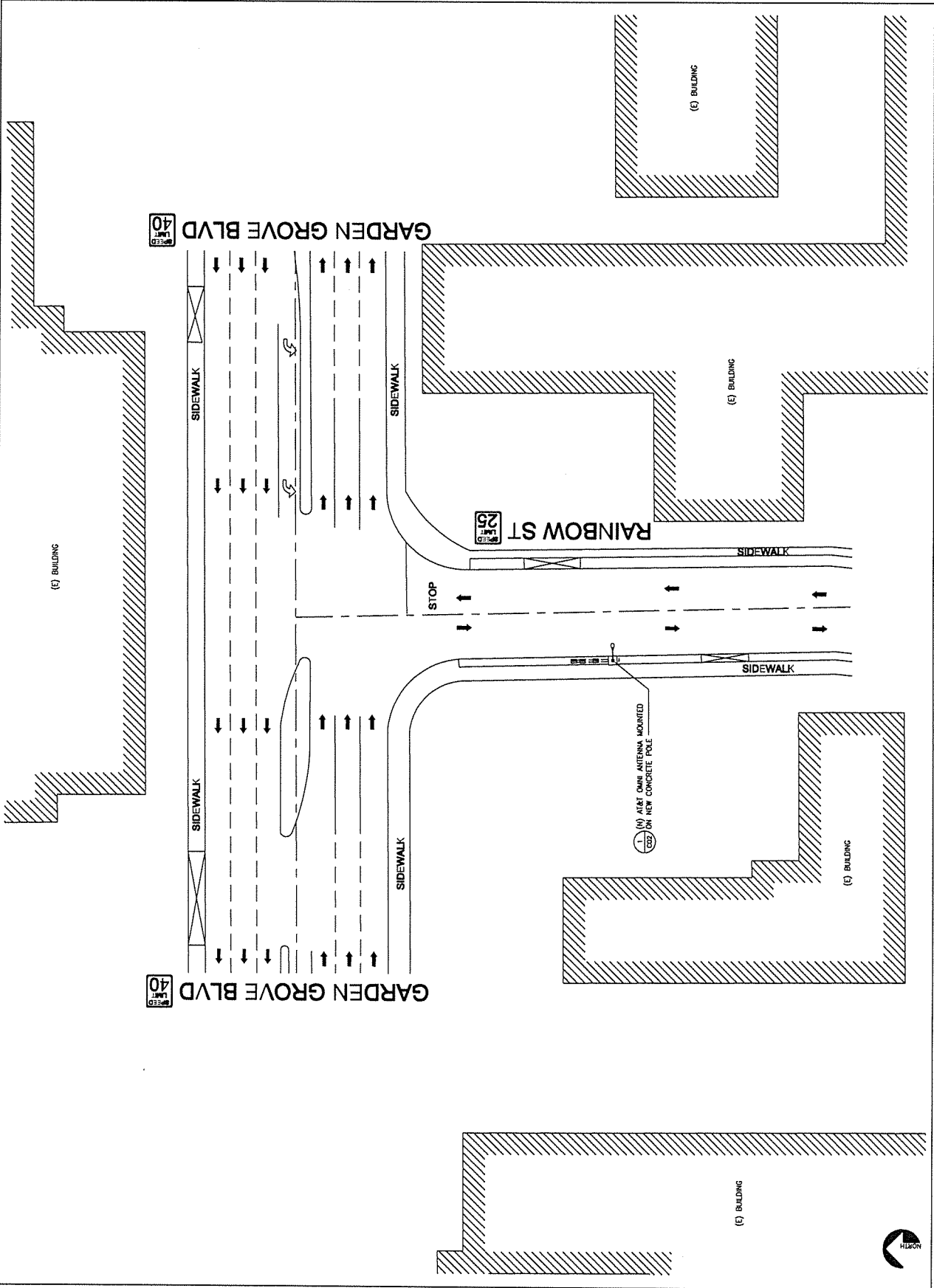
ORFUL NODE 51A
CRAN-RLOS-ORFUL-51
POLE ID# NONE
USID: 188516
12503 ARCHER BLVD
GARDEN GROVE, CA 92645

PROJECT INFORMATION:


ORFUL NODE 51A
CRAN-RLOS-ORFUL-51
POLE ID# NONE
USID: 188516
12503 ARCHER BLVD
GARDEN GROVE, CA 92645

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-1



APPLICANT:



1402 EDINGER AVENUE, 3RD FLOOR
LUSTIN, CA 92780

ENGINEER:

DCI PACIFIC
AIRC WORKS


ARCHITECTURE | ENGINEERING | CONSTRUCTION
200 BROADWAY, SUITE 1100
SAN FRANCISCO, CA 94111

DRAWN BY: HN
CHECKED BY: BOX

REVISIONS:

REV	DATE	DESCRIPTION	HN	BY
0	04/25/18	100% CONSTRUCTION	EJ	
A	10/27/18	50% CONSTRUCTION	HN	

LICENSED ARCHITECT



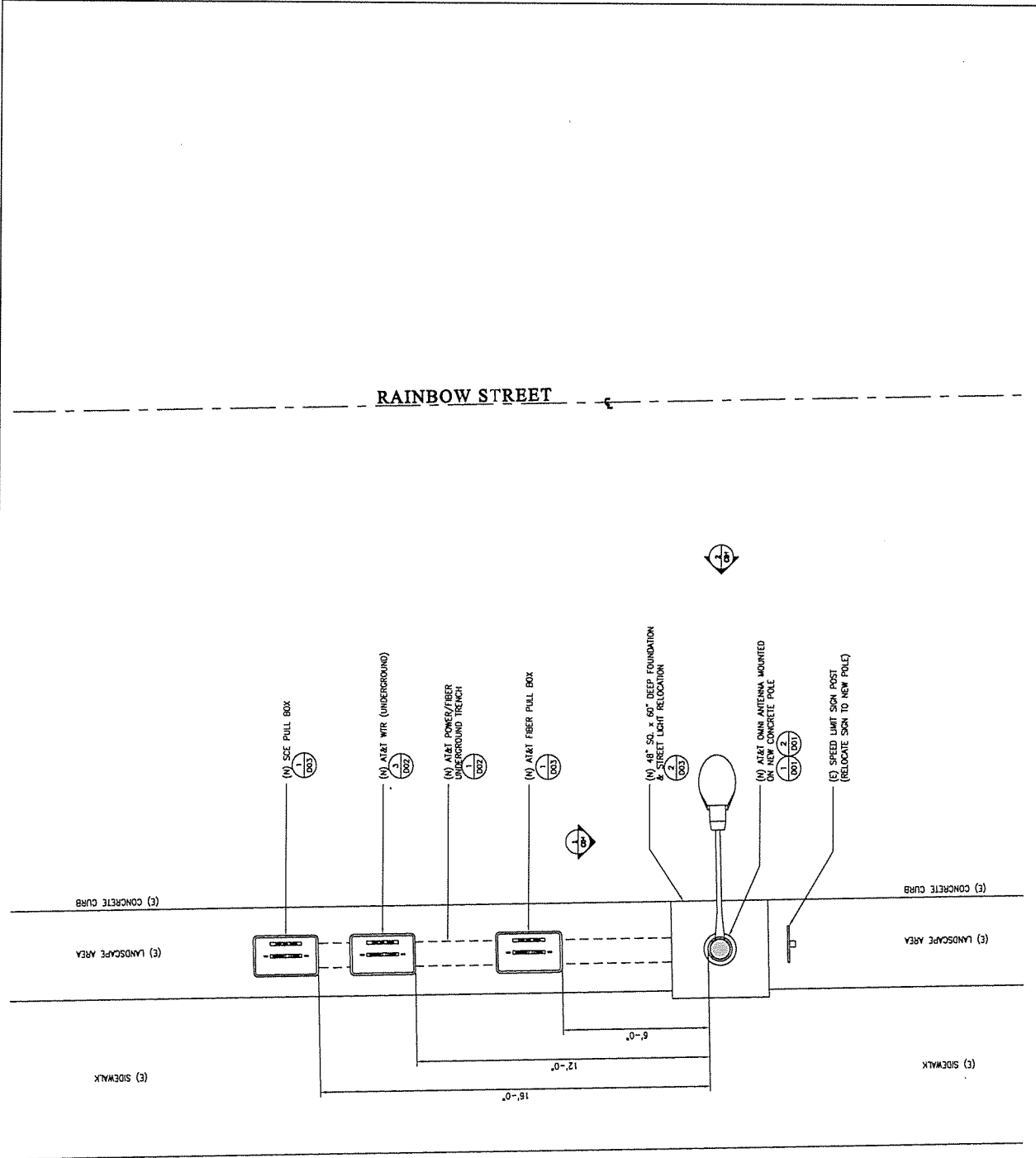
EXPIRES 11/19

PROJECT INFORMATION:

ORFUL NODE 51A
CRAN-RLS-ORFUL-51
POLE ID# NONE
USID: T88516
12302 GARBER GROVE BOULEVARD
GARBER GROVE, CA 92845

SHEET TITLE:
ENLARGED SITE PLAN

SHEET NUMBER:
C-2



RAINBOW STREET

SCALE: 1/8" = 1'-0"

ENLARGED SITE PLAN



APPLICANT:



1462 EDINGER AVENUE, 3RD FLOOR
TUBURIN, CA 92770

ENGINEER:

DCI PACIFIC
A/E/C WORKS

ARCHITECTURAL ENGINEERING CONSULTANTS
1000 UNIVERSITY AVENUE, SUITE 1100
SANTA ANA, CA 92705

DRAWN BY: HR
CHECKED BY: BOB

REVISIONS:

REV	DATE	DESCRIPTION	HR	BY
0	04/25/18	100% CONSTRUCTION	EJ	
A	10/27/18	90% CONSTRUCTION	HR	

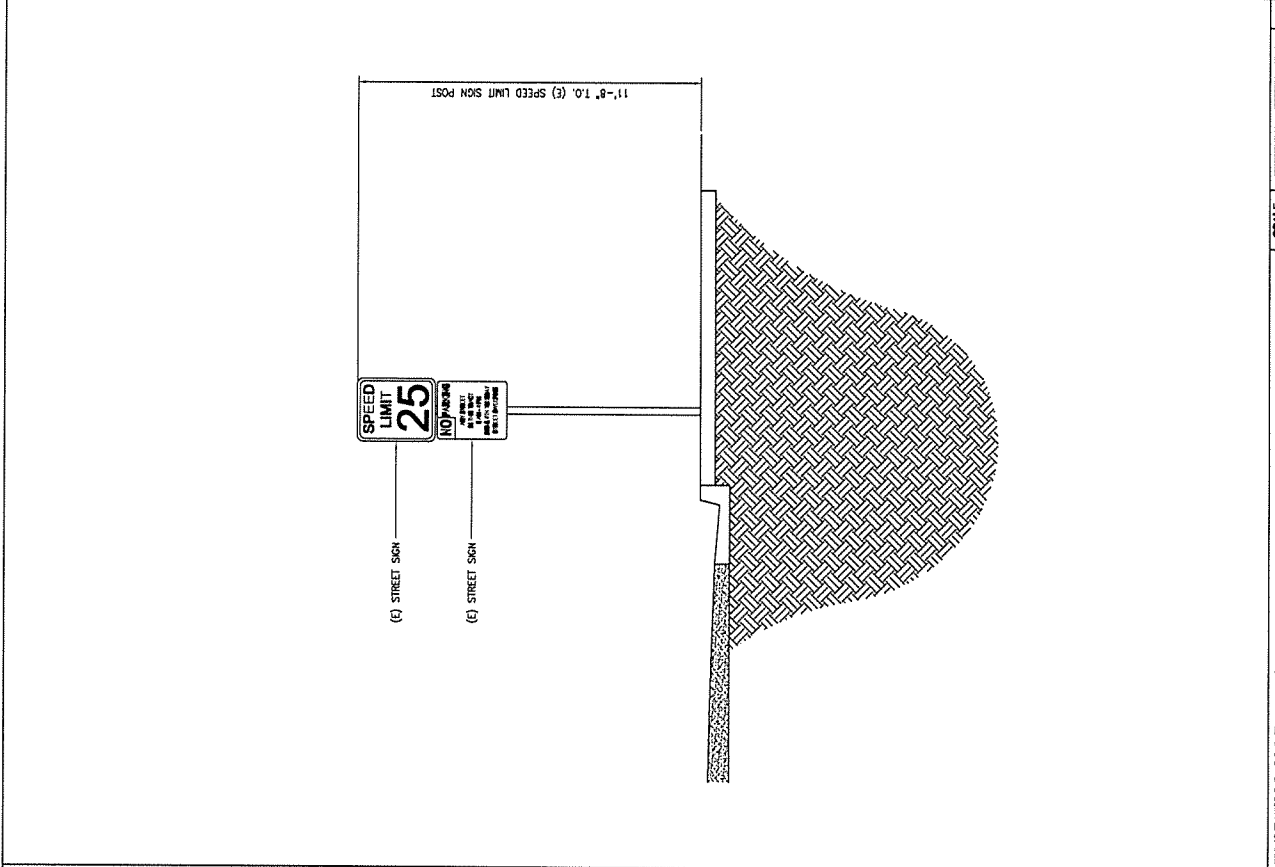
LICENSED ARCHITECT
NO. 00
C-48415
REK. 11/19
STATE OF CALIFORNIA

PROJECT INFORMATION:

ORFUL NODE 51A
CRAN-RLOS-ORFUL-51
POLE ID# NONE
USID: 188516
ORFUL BURNHAM
GARDNER GROVE, CA 92643


SHEET TITLE:
**PHOTO REFERENCE
&
EXISTING ELEVATION**

SHEET NUMBER:
C-3



POLE ID#: NONE

APPLICANT:



1482 EDMUNDS AVENUE, 3RD FLOOR
TULSA, CA 92780

ENGINEER:

DCI PACIFIC
A/E/C WORKS


ARCHITECTURAL | ENGINEERING | CONSULTING
2200 UNIVERSITY AVENUE, SUITE 110
TULSA, OK 74104

DRAWN BY: []
CHECKED BY: []

REV. NO. []
DESCRIPTION []

REV.	NO.	DATE	DESCRIPTION	BY
0	04/25/18		100% CONSTRUCTION	EJ
A	03/27/18		90% CONSTRUCTION	PH

LICENSED ARCHITECT



STATE OF CALIFORNIA
C-18915
EXPIRES 11/19

PROJECT INFORMATION

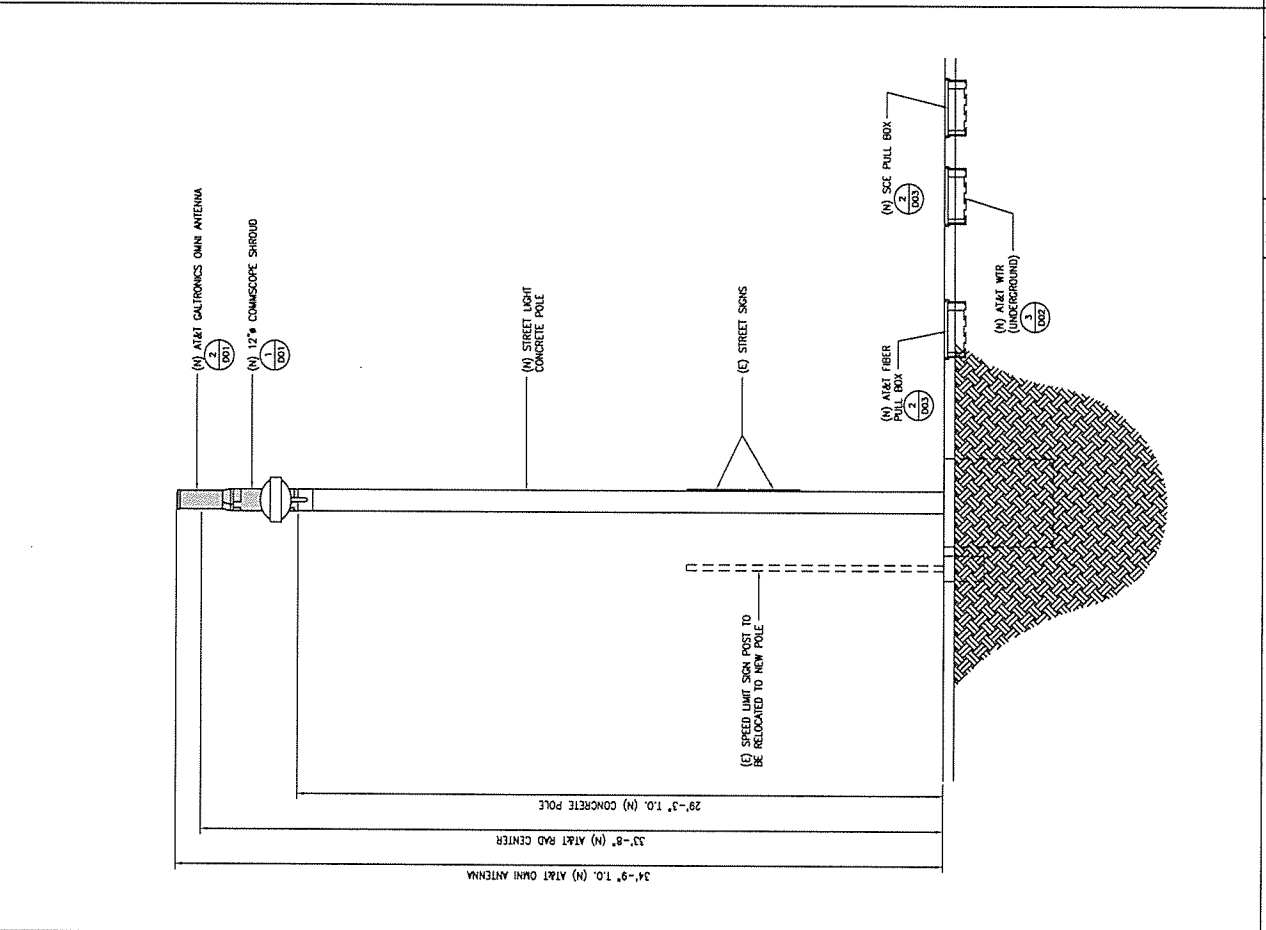
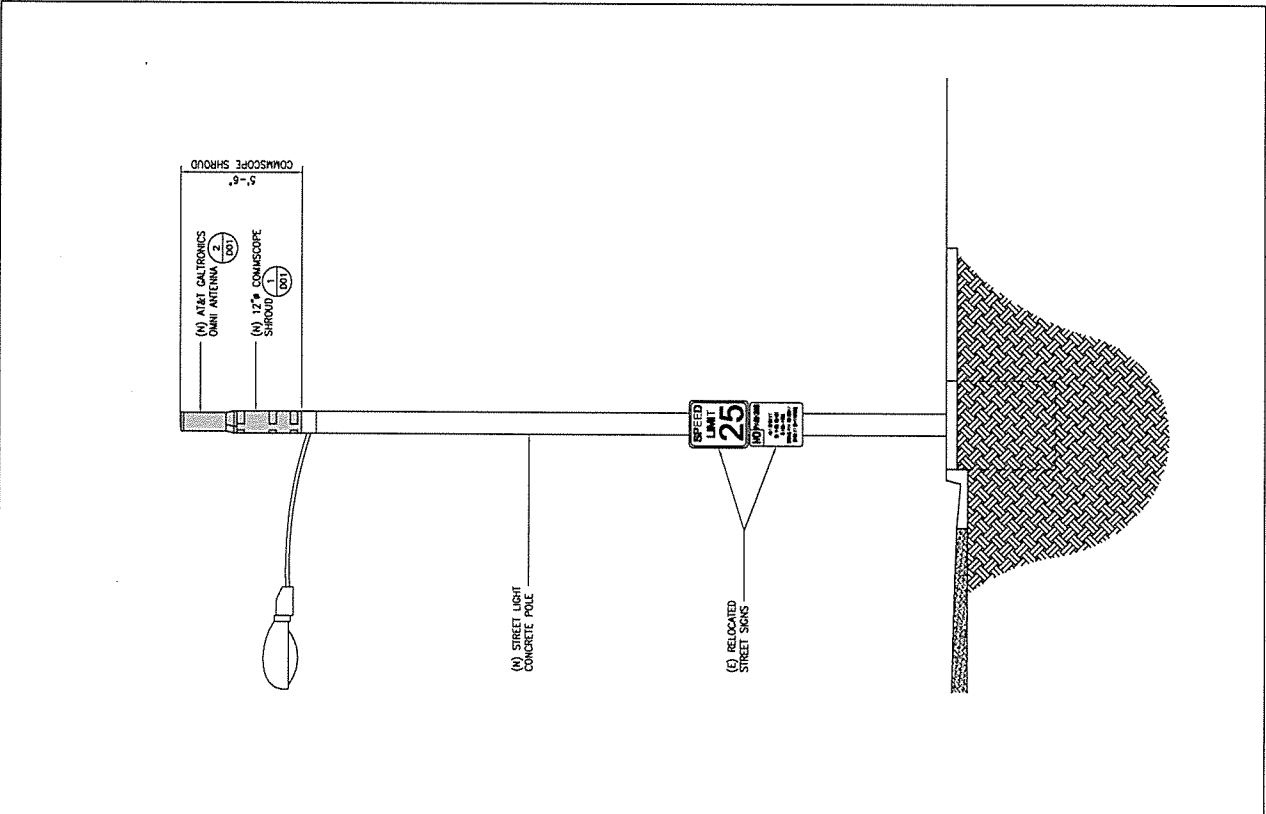
ORFUL NODE 51A
CRAN-RLOS-ORFUL-51
POLE ID# NONE
USDA: 188516
12302 CALLE DEL ARBO
GARDEN GROVE, CA 92843

SHEET TITLE:


NEW ELEVATIONS

SHEET NUMBER:

C-4



APPLICANT:



1400 EDINGER AVENUE, 3RD FLOOR
TURF, CA 92770

ENGINEER:

DCI PACIFIC
AIRC WORKS


ARCHITECTURAL ENGINEERING CONSULTING
STRUCTURAL ENGINEERING
INTERIOR DESIGN

DRAWN BY: _____
CHECKED BY: _____
IN: _____
BOX: _____

REVISIONS:

REV	DATE	DESCRIPTION	BY
0	04/25/18	100% CONSTRUCTION	EJ
A	03/27/18	90% CONSTRUCTION	PHI

LICENSEE:

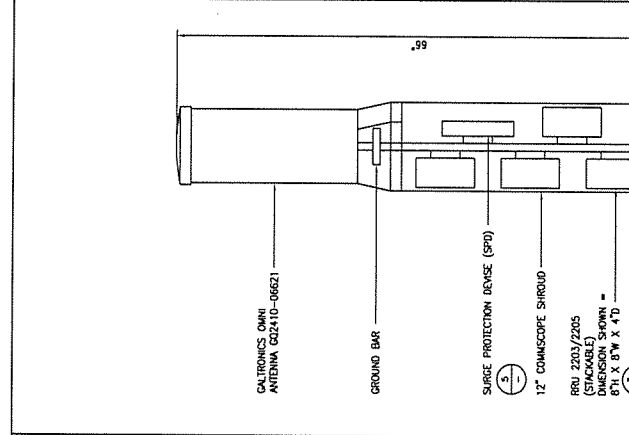


PROJECT INFORMATION:

ORFUL NODE 51A
CRAN-RLS-ORFUL-51
POLE ID# NONE
USID: 188516
12303 GARDEN GROVE, CA 92645

SHEET TITLE:
DETAILS

SHEET NUMBER:
D-1



**GALTRONICS
EXTENT™ GQ2410-06621 PSEUDO
OMNI CANISTER ANTENNA**

MECHANICAL SPECIFICATIONS:
DIMENSIONS (HxD): 24.9 x 10 INCHES (628 x 254 mm)
WEIGHT (EOL MOUNTING BRACKETS 19lbs (9 kg)
NO. OF CONNECTORS: 10 X 4, 3-10 DIN FEMALE
CONNECTOR TYPE & FREQUENCY BAND (MHz):
4 X 4.3-10 DIN FEMALE (1895-2180/180-2400) MHz
2 X 4.3-10 DIN FEMALE (1895-2180/180-2400) MHz
2 X 4.3-10 DIN FEMALE (5150-5950) MHz
MAX WIND SPEED: 150 mph
RADOME MATERIAL: ASA
SHIPPING DIMS (LxWxD): 30" X 19" X 19" (762x483x483)mm
GROSS SHIPPING WEIGHT: 28 lbs (12kg)

MECHANICAL SPECIFICATIONS:
DIMENSIONS (WxDxH): 7.87" x 3.94" x 2.87", INCLUDING MOUNTING BRACKET
VOLUME AND WEIGHT: 4 LITRES AND < 4.5 kg (9.92 lb)
MOUNTING: WALL AND POLE MOUNT

REFERENCE SPECIFICATIONS:
ANTENNA PORTS: 2 X 4.3-10(F)
CIRCUIT BOARD: 2 X 2.5/5/10 GHz (EXCHANGEABLE SEP MODULES)
EXTERNAL INDICATORS: 6
EXTERNAL MARKER: 1
FIELD GROUNDING: 1

ELECTRICAL SPECIFICATIONS:
VOLTAGE: VCD OR 100 -250 VAC
POWER OUTPUT: 97 WATTS MAX
MAX HEAT DISSIPATION: 80 WATTS
MINIMUM AC FUSE RATING: 6 AMP

6 OMNI ANTENNA DISCLAIMER LABEL

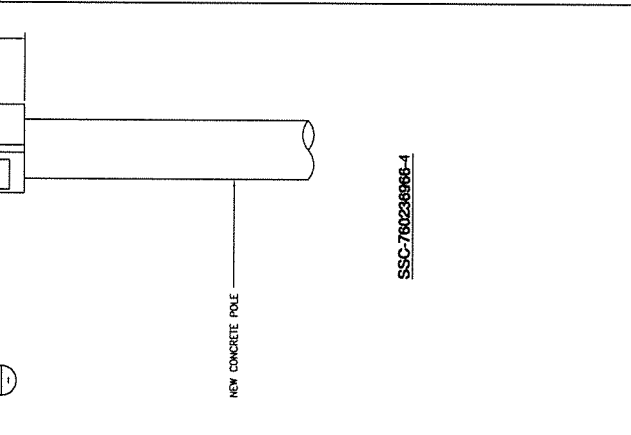
NOTICE
No warranty is made by the manufacturer against the FCC's general prohibition of the use of this antenna for transmitting purposes. Consult FCC Part 15.247 for the proper use of this antenna.

Figure 3-10712C: Label on the bottom of the front of the enclosure of each antenna.

RAYCAP - RSCAC-6533-P-120-D

MECHANICAL CONNECTION TERMINAL (POWER): COMPRESSION LUG #6 - #14 AWG (13 - 24kG)
TERMINAL BLOCK #10-#26 AWG (6 - 0.14MM2)
ENVIRONMENTAL INGRESS PROTECTION (IP) RATING: NEMA 4X
STORAGE TEMPERATURE: -40°C to +80°C
ENCLOSURE TYPE (OUTDOOR): POLYCARBONATE: UL 94V-0 RATED
ENCLOSURE DIMENSION: (L x W x H) 8.58" X 5.06" X 10.08" [217 x 128 x 256 MM]
WEIGHT: 2.25 LBS (1.02KG)

ELECTRICAL:
SURGE PROTECTION DEVICE (SPD) TYPE TO IEC STRINGSORB 30-A
NUMBER OF CIRCUITS PROTECTED: 4
SURGE PROTECTIVE DEVICE (SPD) TYPE PER UL 1449 4TH EDITION: TYPE 2
SURGE PROTECTION DEVICE (SPD) CLASS TO IEC 61643-11: CLASS II
NOMINAL OPERATING VOLTAGE (UN): 120 V
NOMINAL DISCHARGE CURRENT (IN) PER UL 1449 4TH EDITION: 20 KA 8/20 MS
MAXIMUM DISCHARGE CURRENT (IMAX) PER IEC 61643-11 60 KA 8/20 MS
MAXIMUM CONTINUOUS OPERATING VOLTAGE (UC) (MCOV) 150V
VOLTAGE PROTECTION LEVEL (UPL) PER IEC 61643-11: 700V
SUPPRESSION TECHNOLOGY: MOV
PROTECTION MODES (DUAL MODE): LINE TO NEUTRAL, NEUTRAL TO GROUND
STRINGSORB MODULES ARE COMPLIANT TO THE FOLLOWING SURGE PROTECTIVE DEVICE (SPD) STANDARDS: UL 1449 4TH EDITION: 2011, EN 61643-11: 2012, IEEE C62.11: 2005, IEEE C62.41: 2002, IEEE 68245: 2002, NEMA-LS-1 CERTIFICATION UL, VDE, CE

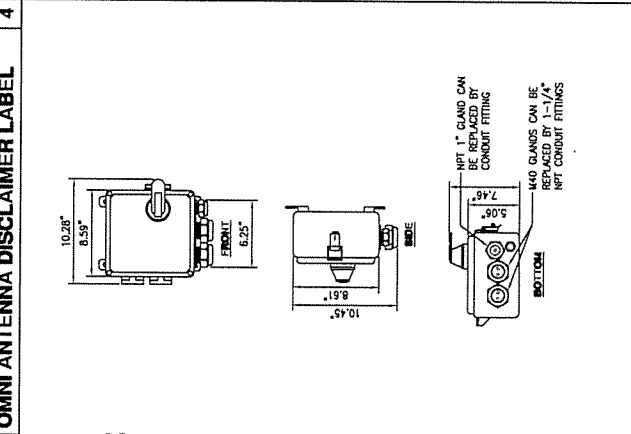


4 GALTRONICS GQ2410-06621 OMNI

MECHANICAL SPECIFICATIONS:
DIMENSIONS (WxDxH): 7.87" x 3.94" x 2.87", INCLUDING MOUNTING BRACKET
VOLUME AND WEIGHT: 4 LITRES AND < 4.5 kg (9.92 lb)
MOUNTING: WALL AND POLE MOUNT

REFERENCE SPECIFICATIONS:
ANTENNA PORTS: 2 X 4.3-10(F)
CIRCUIT BOARD: 2 X 2.5/5/10 GHz (EXCHANGEABLE SEP MODULES)
EXTERNAL INDICATORS: 6
EXTERNAL MARKER: 1
FIELD GROUNDING: 1

ELECTRICAL SPECIFICATIONS:
VOLTAGE: VCD OR 100 -250 VAC
POWER OUTPUT: 97 WATTS MAX
MAX HEAT DISSIPATION: 80 WATTS
MINIMUM AC FUSE RATING: 6 AMP



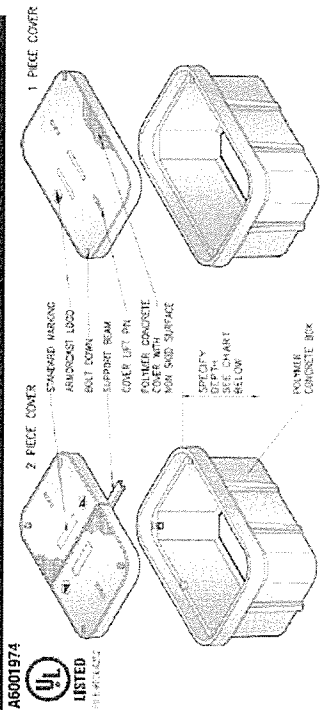
5 ERICSSON - MICRO RADIO 2203/2205

MECHANICAL SPECIFICATIONS:
DIMENSIONS (WxDxH): 7.87" x 3.94" x 2.87", INCLUDING MOUNTING BRACKET
VOLUME AND WEIGHT: 4 LITRES AND < 4.5 kg (9.92 lb)
MOUNTING: WALL AND POLE MOUNT

REFERENCE SPECIFICATIONS:
ANTENNA PORTS: 2 X 4.3-10(F)
CIRCUIT BOARD: 2 X 2.5/5/10 GHz (EXCHANGEABLE SEP MODULES)
EXTERNAL INDICATORS: 6
EXTERNAL MARKER: 1
FIELD GROUNDING: 1

ELECTRICAL SPECIFICATIONS:
VOLTAGE: VCD OR 100 -250 VAC
POWER OUTPUT: 97 WATTS MAX
MAX HEAT DISSIPATION: 80 WATTS
MINIMUM AC FUSE RATING: 6 AMP

24" x 36" BOX ASSEMBLY 12" to 42" DEPTHS



24"W x 36"L BOX ASSEMBLIES Specify Depth Below

DESCRIPTION	MINIMUM SIZE	LOAD RATING	ANCH TIER	PART NUMBER	APPROX. WEIGHT	PALLET QTY
Box & Cover Assembly	24" x 36" x 12"	10K	6	A600197A-PC02	153 lbs.	8
Box & Cover Assembly	24" x 36" x 18"	10K	6	A600197A-PC03	237 lbs.	5
Box & Cover Assembly	24" x 36" x 24"	10K	6	A600197A-PC04	257 lbs.	5
Box & Cover Assembly	24" x 36" x 30"	10K	6	A600197A-PC05	302 lbs.	4
Box & Cover Assembly	24" x 36" x 36"	10K	6	A600197A-PC06	357 lbs.	3
Box & Cover Assembly	24" x 36" x 42"	10K	6	A600197A-PC07	431 lbs.	2

DESCRIPTION	MINIMUM SIZE	LOAD RATING	ANCH TIER	PART NUMBER	APPROX. WEIGHT	PALLET QTY
Replacement Covers	24" x 36" x 12"	10K	6	A600197B	64 lbs.	20
Replacement Covers	24" x 36" x 18"	10K	6	A600197C	157 lbs.	8
Replacement Covers	24" x 36" x 24"	10K	6	A600197D	182 lbs.	7
Replacement Covers	24" x 36" x 30"	10K	6	A600197E	207 lbs.	6
Replacement Covers	24" x 36" x 36"	10K	6	A600197F	252 lbs.	5
Replacement Covers	24" x 36" x 42"	10K	6	A600197G	326 lbs.	4

* Boxes are open bottom and stackable, also available with Solid Bottoms.
 † For sizes not shown please contact Armorcast Products for more information.
 ‡ THIS PRODUCT IS LISTED TO APPLICABLE U.L. CHANGES AND REQUIREMENTS BY U.L.
 www.armorcastprod.com Tel: (818) 982-3900 Fax: (818) 982-7742

APPLICANT:

1402 EDMUNDAVENUE, 3RD FLOOR
 LUSTEN, CA 92770

ENGINEER:

ARCHITECTURAL CONSULTING COMPANY
 10000 WILSON AVENUE, SUITE 110
 BOSTON, MA 02116

DRAWN BY: []
 CHECKED BY: []

REVISIONS:

NO.	DATE	DESCRIPTION	BY
0	04/25/18	100% CONSTRUCTION	EJ
A	03/27/18	90% CONSTRUCTION	HN

LICENSED ARCHITECT
 C-16615
 REG. 11/19
 STATE OF CALIFORNIA

PROJECT INFORMATION:

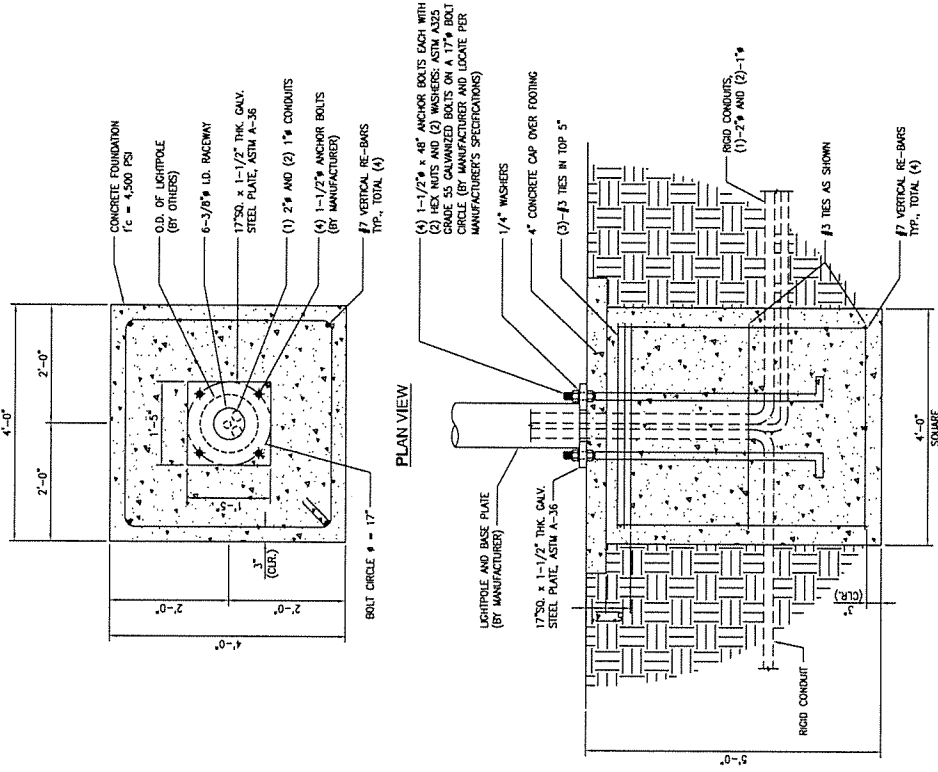
ORFUL NODE 51A
 CRAN-RLOS-ORFUL-51
 POLE ID# NONE
 USID: 188516
 12305 GARDEN GROVE BOULEVARD
 GARDEN GROVE, CA 92845

SHEET TITLE:

DETAILS

SHEET NUMBER:

D-3



- GENERAL NOTES:
- DRAWINGS PROVIDED HERE ARE NOT TO SCALE AND ARE INTENDED TO SHOW OUTLINE ONLY.
 - ANY NEW CONCRETE NEEDED FOR THE CONSTRUCTION SHALL HAVE 4,000 PSI STRENGTH AT 28 DAYS UNLESS NOTED OTHERWISE ON DRAWINGS. ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH ACI 318 CODE REQUIREMENTS.
 - ALL STRUCTURE AND ACCESSORIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND AS SHOWN ON DRAWINGS.
 - HIGH STRENGTH BOLTS SHALL BE USED FOR ALL PRIMARY STRUCTURAL CONNECTIONS, UNLESS OTHERWISE NOTED.
 - COMPONENTS SHALL BE IN ACCORDANCE WITH DIMENSIONAL REQUIREMENTS OF ANSI/ASME B18.26, HIGH STRENGTH BOLT ASSEMBLIES SHALL BE FURNISHED AS FOLLOWS:
 4.1 WASHER, TYPE 1, IN ACCORDANCE WITH ASTM F436
 4.2 WASHER, TYPE 2, IN ACCORDANCE WITH ASTM F436
 - WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1/D1.1M "STRUCTURAL WELDING". WELD FILLER MATERIAL SHALL HAVE MINIMUM YIELD STRENGTH OF 50 KSI AND MINIMUM TENSILE STRENGTH OF 70 KSI AND SHALL BE COMPATIBLE WITH THE BASE METAL.
 - WELDING SHALL BE 1/4" CONTINUOUS FILET WELD UNLESS NOTED OTHERWISE.

RESOLUTION NO. 5928-18

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE APPROVING CONDITIONAL USE PERMIT NO. CUP-135-2018, FOR INSTALLATION OF NINE (9) SMALL WIRELESS TELECOMMUNICATION FACILITIES WITHIN THE CITY OF GARDEN GROVE PUBLIC RIGHT-OF-WAY AT VARIOUS LOCATIONS THROUGHOUT THE CITY.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on July 19, 2018, does hereby approve Conditional Use Permit No. CUP-135-2018, for the installation of nine (9) small wireless telecommunication facilities and related equipment and improvements within the City of Garden Grove public right-of-way at various locations throughout the City.

BE IT FURTHER RESOLVED in the matter of Conditional Use Permit No. CUP-135-2018, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by AT&T Mobility, LLC ("Applicant"). The Applicant is requesting Conditional Use Permit (CUP) approval to allow for the installation and operation of nine (9) Citywide small wireless telecommunication facilities disguised as street light poles (6), attached to wood utility poles (2), and installed as new street light pole (1), along with related below grade or internally concealed meters, attached equipment, and site improvements. The existing street lights and wood utility poles in the City's public right-of-way are owned by Southern California Edison. The street lights will be removed and replaced with the new street light poles, the wood utility poles will remain, and one (1) new street light will be installed. All poles would include small wireless telecommunication facilities.
2. Pursuant to the California Environmental Quality Act ("CEQA"), the City of Garden Grove has determined that the proposed project is categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) of the CEQA Guidelines (14 Cal. Code Reg., Section 15301) and Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines (14 Cal. Code Regs., Section 15303).
3. The properties on which the facilities will be installed have General Plan Land Use designations of Low Density Residential, Low Medium Density Residential, Medium Density Residential, Residential/Commercial Mixed Use 2, Civic/Institutional, and International West Mixed Use, and are zoned R-1 (Single-Family Residential), R-3 (Multiple-Family Residential, GGMU-2 (Garden Grove Mixed Use 2), OS (Open Space), PUD (Planned Unit Development), HCSP-TS (Harbor Corridor Specific Plan – Transition South), and HCSP-OP (Harbor Corridor Specific Plan – Office Professional). The sites are improved as the City of Garden Grove public right-of-way.
4. Existing land use, zoning, and General Plan designation of property within the vicinity of the subject properties have been reviewed.

5. The report submitted by City Staff was reviewed.
6. Pursuant to a legal notice, a public hearing was held on July 19, 2018, and all interested persons were given an opportunity to be heard.
7. The Planning Commission gave due and careful consideration to the matter during its meeting of July 19, 2018.

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.32.030, are as follows:

FACTS:

The subject sites are parkways located within the City’s public right-of-way at various citywide locations. The sites are improved with existing street lights and the wood utility poles that are owned and operated by Southern California Edison.

The subject sites are zoned in R-1 (Single-Family Residential), R-3 (Multiple-Family Residential, GGMU-2 (Garden Grove Mixed Use 2), OS (Open Space), PUD (Planned Unit Development), HCSP-TS (Harbor Corridor Specific Plan – Transition South), and HCSP-OP (Harbor Corridor Specific Plan – Office Professional) and have General Plan Land Use Designations of Low Density Residential, Low Medium Density Residential, Medium Density Residential, Residential/Commercial Mixed Use 2, Civic/Institutional, and International West Mixed Use. Below is a street light pole table that provides information on ownership, pole management, location, site identification, pole identification, pole type, and luminaire.

OWNER/ POLE MANAGEMENT	PROXIMITY	US ID	POLE ID	POLE TYPE/ LUMINAIRE
Southern California Edison	1. Public right-of-way, west side of West Street, between College Avenue and Dunklee Lane	189155	1192475E	Street Pole/ Single
Southern California Edison	2. Public right-of-way, east side of Bayport Street, between Balboa Avenue and Chapman Avenue	189140	1575260E	Street Pole/ Single
Southern California Edison	3. Public right-of-way, east side of Rancho Way, between Clinton Street and Trask Avenue	189151	2340778E	Street Pole/ Single
Southern California Edison	4. Public right-of-way, median, on Garden Grove Boulevard, between Palm Street and Blackbird Street	189153	2083224E	Street Pole/ Double
Southern California Edison	5. Public right-of-way, median, on Garden Grove Boulevard, between Lemonwood Land and Rockinghorse Road	189150	4264212E	Street Pole/ Double

Southern California Edison	6. Public right-of-way, median, on Harbor Boulevard, between Flagstone Avenue and Banner Drive	189152	4288389E	Street Pole/ Double
Southern California Edison/ Joint Pole Authority	7. Public right-of-way, south side of Lampson Avenue, between Jetty Street and Haster Street	189137	4560230E	Utility Pole/ Single
Southern California Edison/ Joint Pole Authority	8. Public right-of-way, north side of Harbor Boulevard, between Buaro Street and Harbor Boulevard	189154	1448003E	Utility Pole/ No Luminaire
South California Edison	9. Public right-of-way, west side of Rainbow Street, between Garden Grove Boulevard and Granite Circle	188516	None	Street Pole/ Single

AT&T is proposing to install and operate nine (9) citywide small wireless telecommunication facilities disguised as street light poles or attached to existing wood utility poles, along with related below grade or internally concealed meters, attached equipment, and site improvements.

Street Light Poles – Existing

Of the nine (9) small wireless telecommunication facilities, six (6) will consist of a directly installed canister antenna, attached to a shroud concealing the remote radio units, power supply units, surge protection device, ground bar, along with a below grade or internally concealed meter, and other related equipment. All proposed new street light poles will include a visible radio frequency and site identification placard. The luminaire design and LED light will be consistent with the City’s luminaire replacement program.

The proposed new street light poles will be erected within a few feet of the existing street light poles. The existing poles being removed will include any related equipment, sub-structure, and concrete foundation. The existing foundation trench will be back-filled with clean fill, compacted, and completed with a finish surface to match the existing surroundings.

Wood Utility Poles – Existing

Of the nine (9) proposed new small wireless telecommunication facilities, two (2) are proposed to be installed on existing wood utility poles; these poles will remain in-place, and will consist of an attached canister antenna, remote radio units, and power supply units, all mounted onto a double extension arm mounting assembly. The two (2) facilities will include below grade or internally concealed meters, as well as other related equipment. The wood utility poles will include a visible radio frequency and site identification placard.

Street Light Poles - New

The one (1) new street light pole will be installed within the City's public right-of-way. The design will not require any type of at-grade enclosure or equipment.

The proposed new street light poles will have a pole height of 29'-3" with an ultimate height to the top of the antenna of 34'-9". The proposed new small wireless telecommunication facility will consist of a directly installed antenna approximately two-feet (2'-0") attached to a 3'-6" shroud concealing the remote radio units, power supply units, surge protection device, ground bar along with a below grade or internally concealed meter, as well as other related equipment. The new street light pole will include a visible radio frequency and site identification placard. The luminaire design and LED light will be consistent with the City's luminaire replacement program.

FINDINGS AND REASONS:

1. The proposed use will be consistent with the City's adopted General Plan.

The Applicant is proposing to install and operate small wireless telecommunication facilities within the public right-of-way to complement and supplement the broader macro cell facilities. The facilities will fill gaps in coverage and provide increased network capacity, ensure connectivity, and meet the demand for those heavily populated areas by using an 'existing facility' use subject to a Conditional Use Permit. General Plan Land Use Element Policy LU-1.10 promotes future patterns of urban development and the better use of existing and planned public facilities. With the Conditional Use Permit request, the Applicant is proposing to meet the future needs of the City in a manner consistent with this policy. The proposed development will create an environment and a use that is consistent with the goals of the General Plan provided that the operation of the facilities complies with the conditions of approval.

2. That the requested use at the location proposed will not: adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area, or unreasonably interfere with the use, enjoyment, or valuation of the property of other persons located in the vicinity of the site, or jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare.

The use will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area. The conditions of approval will minimize potential impacts to the adjoining area. Provided the conditions of approval are adhered to for the life of the project, the use will be harmonious with the persons who work and live in the area.

Additionally, the use will not unreasonably interfere with the use, enjoyment or valuation of the property of other persons located within the vicinity of the site, provided the conditions of approval are adhered to for the life of the project. The street light pole's will be designed to match the City's existing street light poles appearance and the wood utility poles will be remain as existing in order to mitigate any potential aesthetic impacts. Telecommunication facilities are conditionally permitted in the R-1 (Single-Family Residential), R-3 (Multiple-Family Residential), GGMU-2 (Garden Grove Mixed Use 2), OS (Open Space), PUD (Planned Unit Development), HCSP-TS (Harbor Corridor Specific Plan – Transition South), and HCSP-OP (Harbor Corridor Specific Plan – Office Professional) zones.

Finally, the use will not jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare. The conditions of approval will ensure the public health, safety, and welfare. The antennas and equipment are required to adhere to all FCC regulations prohibiting such facilities from interfering with public safety. Therefore, the project will not create a menace to the public health, safety, or welfare.

3. That the proposed sites are adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title or as is otherwise required in order to integrate such use with the uses in the surrounding area.

The Applicant is proposing to install and operate nine (9) new citywide small wireless telecommunication facilities within the existing public right-of-way locations. Currently, eight (8) of the nine subject locations accommodate and support a street light and/or a wood utility pole. The proposed ninth site provides the needed square footage area to accommodate and support a new street light pole as reviewed by the Engineering Division. The proposed locations are all sized and shaped to accommodate and support the new pole's structural foundation, pole diameter, height, along with any related equipment. The public right-of-way is equipped with the necessary infrastructure to operate the proposed small wireless telecommunication facilities.

The poles with existing luminaires will be designed with new luminaires and LED lights that will be consistent with the City's luminaire replacement program. Lastly, the Applicant proposed development features and the new small wireless telecommunication facilities disguised as functioning street light and wood utility poles integrate with the uses in the surrounding area.

4. That the proposed sites are adequately served: by highways or streets or sufficient width and improved as necessary to carry the kind and quantity of traffic such as to be generated, and by other public or private service facilities as required.

The subject sites are located along, and are adequately served by, principal, major, primary, or secondary arterials or local residential streets and are accessible from the public right-of-way. The sites are also adequately served by the necessary electric utilities and other public service facilities required.

INCORPORATION OF FACTS AND REASONS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and reasons set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Conditional Use Permit (CUP-135-2018) possesses characteristics that would indicate justification of the request in accordance with Municipal Code Section 9.32.030 (Conditional Use Permits).
2. In order to fulfill the purpose and intent of the Municipal Code and thereby promote the health, safety, and general welfare, the following Conditions of Approval, attached as Exhibit "A", shall apply to Conditional Use Permit No. CUP-135-2018.

EXHIBIT "A"

Conditional Use Permit No. CUP-135-2018

City of Garden Grove Public Right-of-Ways

CONDITIONS OF APPROVAL

GENERAL CONDITIONS

1. The applicant shall submit a "Notice of Discretionary Permit Approval and Agreement with Conditions of Approval No. CUP-135-2018," as prepared by the City Attorney's Office, within thirty (30) days of approval. This Conditional Use Permit runs with the land and is binding upon the applicant, his/her/its heirs, assigns, and successors in interest.
2. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "Applicant" shall mean and refer to the project applicant, AT&T Mobility, LLC, the owner(s) and operators(s) of the wireless telecommunication facilities, and each of their respective successors and assigns, including all subsequent purchasers and/or operators of the wireless telecommunication facilities. The Applicant shall adhere to the Conditions of Approval for the life of the project, regardless of property ownership. Any changes of the Conditions of Approval require approval by the Planning Commission, except as otherwise provided herein.
3. This Conditional Use Permit only authorizes the operation of nine (9) small wireless telecommunication facilities in the City's public right-of-way as identified on the site plan, elevations, and detail plans reviewed by the Planning Commission at the public hearing. Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
4. Minor modifications to the approved site plan, elevations, detailed plans and/or these Conditions of Approval may be approved by the Community and Economic Development Director, in his or her discretion. Proposed modifications to the approved site plan or Conditions of Approval that would result in the intensification of the project or create impacts that have not been previously addressed, and which are determined by the Community and Economic Development Director not to be minor in nature, shall be subject to approval of new and/or amended land use entitlements by the applicable City hearing body.
5. All Conditions of Approval shall be implemented at the Applicant's expense, except where specified in the individual condition.

Business License Division

6. Applicant shall ensure that all contractors and subcontractors have a valid business license to do business in the City of Garden Grove.

Police Department

7. In order to facilitate the City's rules regarding the regulation, placement, and construction and operation of the Wireless Communication Facilities ("WCF"), and their interaction with, the City's Public Safety Communications Equipment, the Applicant and all successors shall agree as follows:
 - a. The Applicant recognizes that the frequencies used by the WCF located in the City of Garden Grove public right-of-way may be close to the frequencies used by the City of Garden Grove for public safety. This proximity will require extraordinary "comprehensive advanced planning and frequency coordination" engineering measures to prevent interference, especially in the choice of frequencies and radio ancillary hardware. This is encouraged in the "Best Practices Guide" published by the Association of Public-Safety Communications Officials-International, Inc. (APCO) and as endorsed by the Federal Communications Commission (FCC). Applicant shall comply with such Good Engineering Practices as may be amended from time to time by the FCC in its Rules and Regulations and shall comply with all FCC regulations regarding susceptibility to radio frequency interference, frequency coordination requirements, general technical standards for power, antenna, bandwidth limitations, frequency stability, transmitter measurements, operating requirements, and any and all other federal statutory and regulatory requirements relating to radio frequency interference (RFI).
 - b. In the event the WCF is identified as causing radio frequency interference with the City's Public Safety Communications Equipment, the following steps shall be taken:
 - i. Upon notification by the City of interference with Public Safety Communications equipment, the Applicant shall utilize the hierarchy and procedures set forth in the Best Practices Guide. If the Applicant fails to cooperate with the City in applying the procedures set forth in the Best Practices Guide in order to eliminate the interference, then the City may take such steps under law, including the initiation of appropriate proceedings with the FCC, to eliminate the interference.
 - ii. If there is a determination of radio frequency interference with the City's Public Safety Communications Equipment, the party which caused the interference shall be responsible for reimbursing the City for all costs associated with ascertaining and resolving the

interference, including but not limited to any engineering studies obtained by the City to determine the source of the interference.

8. The Applicant shall provide a 24-hour phone number to which interference problems can be reported. This condition will also apply to all existing facilities operated by the provider in the City of Garden Grove.
9. The Applicant shall provide a "single point of contact" in its Engineering and Maintenance Departments to ensure continuity on all interference issues. The name, telephone number, fax number, and e-mail address of that person shall be provided to the City's designated representative upon activation of the facility.
10. The Applicant shall ensure that any lessee or other users of the WCF shall comply with the terms and conditions of this permit and the Applicant shall be responsible for the failure of any lessee or other users under the control of the Applicant to comply.

Fire Department

11. The Applicant shall provide the appropriate Fire Department notes on the building plans that will be submitted to Building and Safety Division for plan check review.
12. The Applicant shall complete a Fire Department Hazardous Materials packet, and submit a copy to the City with the initial plan check submittal packet.
13. The Applicant and subsequent operator(s) shall place and display a hazardous materials placard(s)/sign(s), to NFPA 704 Standards, on the access to the below grade equipment, wireless telecommunication facility and/or new street light pole.

Public Works - Engineering Division

14. The Applicant shall obtain an encroachment permit from the City prior to any construction in the public right-of-way.
15. Permit fees shall be calculated based on the current fee schedule at the time of permit issuance.
16. Any required lane closures should occur outside of peak travel periods.
17. The Applicant shall submit traffic lane closure permits along with a vehicular traffic control plan for approval.

18. The Applicant shall remove the old poles or fixtures that no longer provide any service as well as any related equipment, sub-structure, and concrete foundation.
19. No at or above-ground meters and/or equipment shall be placed on the City of Garden Grove public right-of-way.
20. Construction activities shall adhere to SCAQMD Rule 403 (Fugitive Dust), which includes dust minimization measures, using electricity from power poles rather than diesel or gasoline powered generators, and using methanol, natural gas, propane or butane vehicles instead of gasoline or diesel powered equipment, where feasible, using solar or low-emission water heaters, and using low-sodium parking lot lights, to ensure compliance with Title 24.
21. New utilities shall have a minimum two-foot (2'-0") horizontal clearance from driveway approaches and curbs.

Public Works - Traffic Division

22. The Applicant shall submit plans and pole specifications to include the material of the pole for Public Works Traffic Division approval.

Public Works - Water Division

23. New utilities shall have a minimum five-foot (5'-0") horizontal and a minimum one-foot (1'-0") vertical clearance from water main and appurtenances.
24. Any new or existing water valve located within new concrete sidewalk improvements shall be reconstructed per City Standard B-753.
25. Any existing meter and services that need to be relocated within the project area shall be relocated at Applicant's expense.

Building and Safety Division

26. The Applicant shall comply with all current California Building Codes, California Electrical Code, California Mechanical Code, California Plumbing Code, and California Energy Code.
27. The Applicant shall submit plans for Building and Safety Division approval.
28. The Applicant shall submit foundation and anchorage design calculations for Building and Safety Division approval.

29. The Applicant shall submit concrete pole design calculations including the additional weight of the proposed antenna for Building and Safety Division approval.
30. The Applicant shall submit design and connection details of attachments of antenna to new concrete pole for Building and Safety Division approval.
31. The Applicant shall ensure that all sheets of plans be stamped and signed by a registered design professional.

Planning Services Division

32. The Applicant shall be responsible for maintenance and up-keep of the wireless telecommunication facilities.
33. The Applicant shall be responsible for maintaining free from graffiti, debris, and litter, those areas of the sites on which the wireless telecommunication facilities are installed on, and over, which Applicant has control. Graffiti shall be removed within 120 hours of notification/application.
34. The wireless telecommunication facilities authorized by this approval shall be designed and constructed consistent with the site plan, elevations, and detail plans submitted by the Applicant and reviewed by the Planning Commission in conjunction with its approval of Conditional Use Permit No. CUP-135-2018. Subject to the foregoing, a general description of the facilities is as follows:
 - Six (6) antenna structures will be designed and disguised as new street light poles that will have a pole height of 29'-3" with an ultimate height to the top of the antenna of 34'-9" from finish grade. Each such new small wireless telecommunication facility will consist of a directly installed canister antenna approximately two-feet (2'-0") tall attached to a 3'-6" shroud concealing the remote radio units, power supply units, surge protection device, ground bar along with a below grade or internally concealed meter, as well as other related equipment. All new street light poles will include a visible radio frequency and site identification placard.
 - Two (2) of the new wireless telecommunication facilities will be attached to existing wood utility poles. The wood utility poles will remain in-place within the City's public right-of-way with varying heights, from 43'-6" to 47'-4". The proposed new small wireless telecommunication facilities will consist of an attached canister antenna approximately two-feet (2'-0") tall, two (2) remote radio units, and two (2) power supply units, all mounted onto a double extension arm mounting assembly. The two (2) facilities will include below grade or internally concealed meters, as well as other related equipment.

- One (1) new small wireless telecommunication facility will be designed and disguised as a new street light pole that will have a pole height of 29'-3" with an ultimate height to the top of the antenna of 34'-9" from finish grade. The new small wireless telecommunication facility will consist of a directly installed canister antenna approximately two-feet (2'-0") tall attached to a 3'-6" shroud concealing the remote radio units, power supply units, surge protection device, ground bar along with a below grade or internally concealed meter, as well as other related equipment. The new street light pole will include a visible radio frequency and site identification placard.

In order to maintain the street light and wood utility pole appearance, the following conditions shall apply:

- a. The street light poles shall match the existing street light pole colors.
 - b. All attached equipment (i.e., antenna, shroud, remote radio units, power supply units, mounting equipment, and other attached equipment) shall be factory painted to match the new street light or wood utility pole's color.
 - c. The luminaire design and LED lights shall be consistent with the City's luminaire replacement program.
 - d. There shall be no climbing pegs on the street light or wood utility poles below a height of 15'-0", except when temporarily installed to service the antennas.
 - e. All new street light and wood utility poles shall include a visible radio frequency and site identification placard.
35. The Applicant shall submit a material sample of the colors to the Planning Services Division for review and approval as part of the plan check submittal application.
36. The Conditional Use Permit (CUP) grants the right to the Applicant to construct and use a telecommunication facility at the locations described in the submitted site plan. The City, however, has concerns about the potential adverse aesthetic and other health and safety impacts of the antennas, and utility and/or mechanical equipment on the surrounding community. It is possible that future technological improvements may make the proposed telecommunication facilities unnecessary or obsolete or outdated aesthetically, therefore, the particular antenna and related equipment shall be reviewed ten (10) years from the date of this approval. At that time, the telecommunication provider operating the facilities shall agree to, and update, each facility as may be required by the Community and Economic Development Director or his/her designee in accordance with applicable law.

37. The City reserves the right to periodically reevaluate the antennas, and utility and/or mechanical equipment in terms of the continued need for these structures in their current size, height, and configuration, and the actual impacts on the neighborhood, community, and environment.
38. The City reserves the right to require an administrative review for compliance with the conditions of approval at any time.
39. In order to address concerns regarding radio emissions, the following conditions shall be complied with:
 - a. Radio frequency emissions from the WCF shall not exceed the radio frequency emission guidelines of the Federal Communication Commission (FCC) as such guidelines may be amended from time to time.
 - b. Prior to January 1, 2018, and each January 1st thereafter, the operator of the WCF shall file with the City of Garden Grove Community and Economic Development Department for approval, a certification of compliance prepared by an independent third party, qualified to measure radio frequency emissions.
40. In the event that the wireless telecommunication facilities are abandoned or their use is discontinued, the Applicant shall remove all improvements within sixty (60) days of abandonment or discontinuance of the use, whichever occurs first.
41. The Applicant shall replace the dead sod or ground cover areas in the City parkway landscape areas in which the wireless telecommunication facilities are located with new sod or ground cover and ensure that the irrigation system is operating to ensure landscape maintenance.
42. The Applicant shall ensure that the existing foundation trench be back-filled with clean fill, compacted, and completed with a finish surface to match the existing surroundings.
43. Hours and days of construction shall be as set forth in the City of Garden Grove's Municipal Code Section 8.47.010, referred to as the Noise Control Ordinance.
44. There shall be no other antennas or mechanical equipment installed on the street light poles without obtaining approval from the Planning Services Division.
45. During construction, if paleontological or archeological resources are found, all attempts shall be made to preserve in place or leave in an undisturbed state in compliance with applicable laws and regulations.

46. A copy of the Resolution No. 5928-18 approving Conditional Use Permit No. CUP-135-2018 shall be kept at the local AT&T Offices at all times and be made available upon request by City Staff and/or Police Department.
47. It shall be the Applicant's responsibility to verify that any building or site improvements do not cross over, encroach into, or cause issue with any recorded easements on the subject property or the adjacent properties.
48. Unless a time extension is granted pursuant to Section 9.32.030.D.9 of Title 9 of the Municipal Code, the rights granted by this approval of Conditional Use Permit No. CUP-135-2018 shall become null and void if the subject use or construction necessary and incidental thereto is not commenced within one (1) year of the expiration of the appeal period and thereafter diligently advanced until completion of the project.
49. The Applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning CUP-135-2018. The Applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The Applicant shall further pay any adverse financial award, which may issue against the City, including, but not limited to, any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.